50 Contractor Garage Plans

Construction Blueprints

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Sheds, Barns Garages Apartment Garages

John Davidson

100 Contractor Garage Plans

Construction Blueprints

Sheds, Barns, Garages, Apartment Garages

By John Davidson

Kindle Edition

Kindle Edition, License Notes

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Garages
Apartment Garages

John Davidson

Table of Contents

About the Author

John Davidson

John has been drawing homes barns and garages since 1984. He has drawn over 500 homes and over 1000 garages and barns. John started a family drafting business called Specialized Design Systems (SDSPlans).

On the website http://housecabin.com there are over 100 full house and cabin plans available for easy download for as low as $1 each. John has been selling affordable digital plans online for over 10 years.

Other plans have also been part of the development of this online business. Over 100 websites market these plans on the Internet. Low cost plans that you can download instantly.

http://pdfgarages.com is loaded with digital garage plans specials

http://pdfbarns.com has a wide variety of barn plans

http://thegardenshed.net has garden shed plans

http://plansforplayhouse.com is for playhouse plans

http://build-chicken-coop.com has chicken coop plans

http://bunkhouseplans.com is loaded with bunkhouse and cabin plans

Check out more of the plans at the main company website http://sdsplans.com

Specialized Designs Systems LLC, Mendon, Utah

DISCLAIMER

READ BEFORE YOU BEGIN! THESE PLANS ARE INTENDED AS A GUIDE ONLY! READ THESE INSTRUCTIONS COMPLETELY THROUGH ONCE AND UNDERSTAND WHAT IS REQUIRED.

We will not be held responsible for any accidents or injuries anyone may sustain. Builder assumes all risks associated with construction work!

We assume some builder competency in the use of tools, safety and equipment.

Work safely and wear proper safety equipment such as gloves, ear protection and eye protection.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SDSCAD is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. All calculations and member sizing should be verified for your building by a certified building official.

Please Note

Please note, this book is not a step by step book for construction but the actual plans that can be used to apply for permits. Plans in the kindle book are low resolution

because of limits to the kindle format but links to download and print high resolution to scale blueprints in PDF format are available in the book. Engineering may be required on plans to be built in different locations.

About this book

This book is meant to be a catalog of garage plans offered by http://sdsplans.com . This is a set of spec pages for 50 Contractor Garage Plans. The kindle format is not the highest resolution method to view these spec pages but gives you an idea of the garage plan layouts for each of the plans. All of these plans have been drawn and built. All 50 plans are available to buy for less than $1 each on a DVD in both High resolution PDF and CAD DWG files for easy editing of the plans. Go to http://pdfgarages.com to download the high resolution catalog or purchase all of these plans in one DVD or purchase plans individually.

Download higher resolution pictures at http://www.9plans.com/over-100-garage-and-barn-plans-in-pdf-jpg-and-dwg/

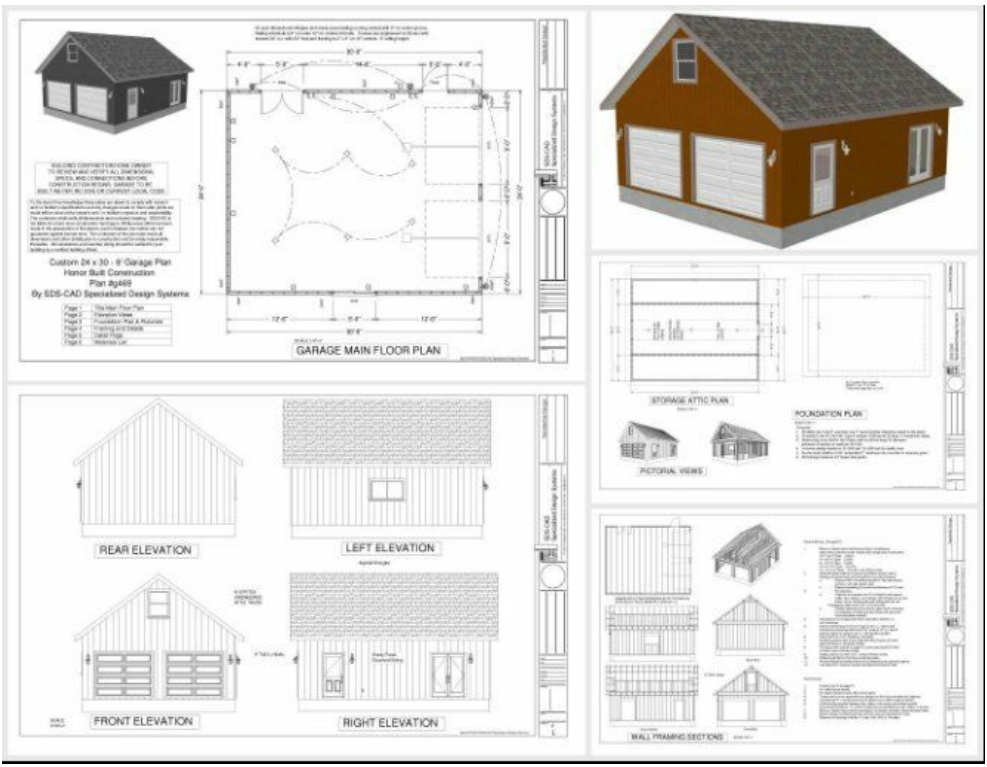
Download sample garage plan here

http://www.sdscad.com/pdf/garagesample.pdf

Download high resolution house plan catalog here http://sdsplans.com/100houseplans.pdf

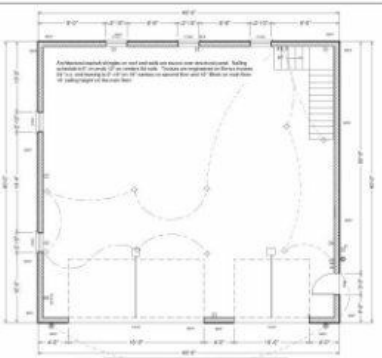
Download full sample house plan http://www.sdsplans.com/wp-content/uploads/2012/04/H267-BJ-Custom-Spec-Sample.pdf

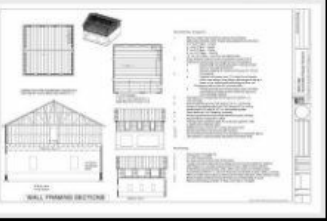
50 Contractor Garage Plans Spec Sheets and Renderings

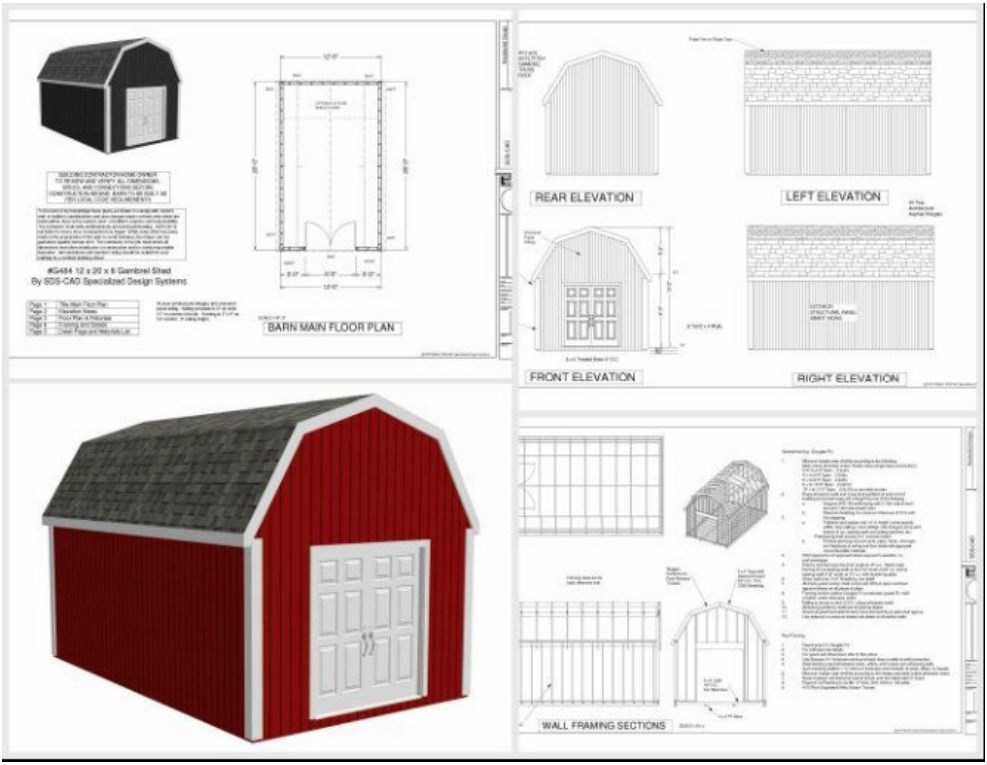


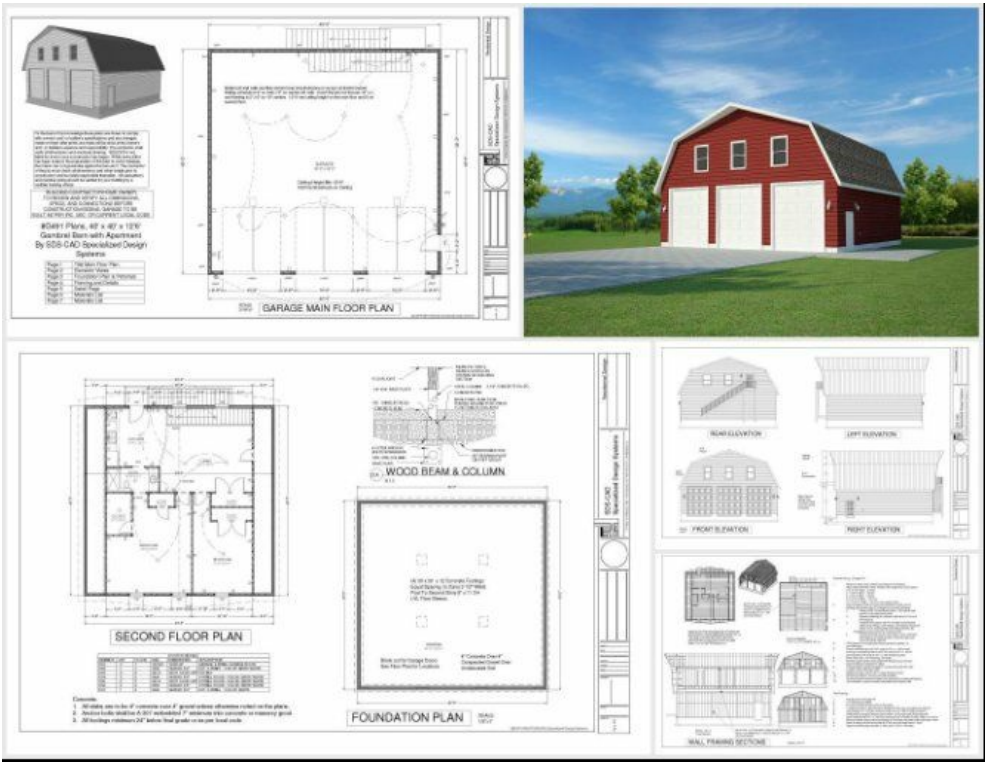
BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONDITIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC, UBC, OR CURRENT LOCAL CODE

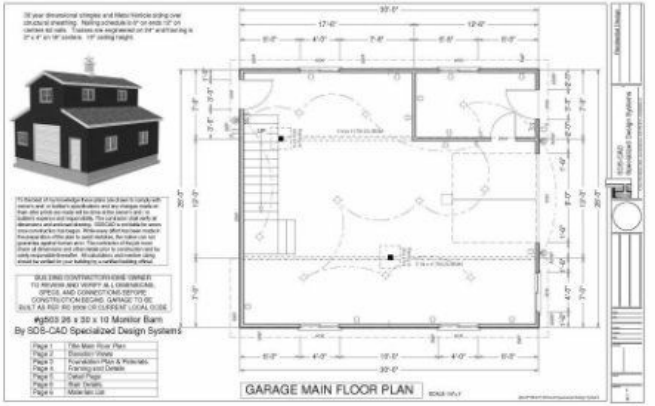
#G482 Plans, 40' x 40' x 10' detached garage with bonus room By SDS-CAD Specialized Design Systems

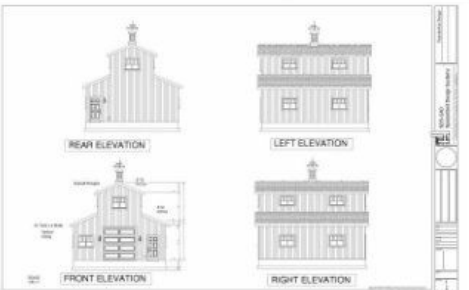


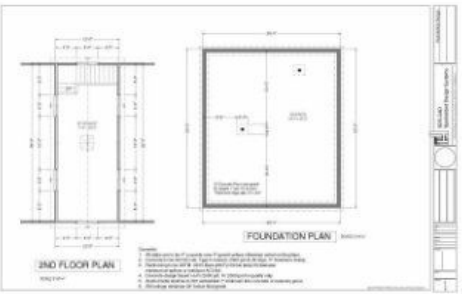



#G484 12 x 20 x 8 Gambrel Shed
By SDS-CAD Specialized Design Systems
BARN MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
WALL FRAMING SECTIONS

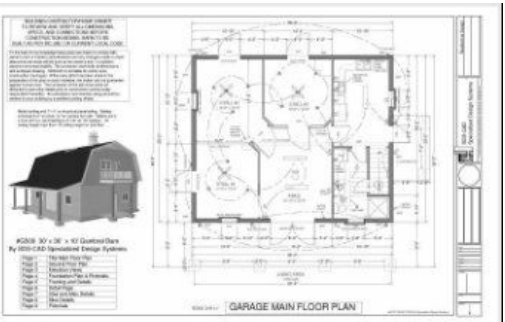

#5481 Plans, 40' x 40' x 13'6"
Gambrel Barn with Apartment
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
SECOND FLOOR PLAN
WOOD BEAM & COLUMN
FOUNDATION PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
WALL FRAMING SECTIONS


BUILDING CONTRACTOR'S HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONDITIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER BC 2006 OR CURRENT LOCAL CODE.
#g503 26 x 30 x 10 Monitor Barn
By SOS-CAD Specialized Design Systems
Page 1 Title Main Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Materials
Page 4 Framing and Details
Page 5 Detail Page
Page 6 Stair Details
Page 6 Material List
GARAGE MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"
SOS-CAD
Specialized Design Systems


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

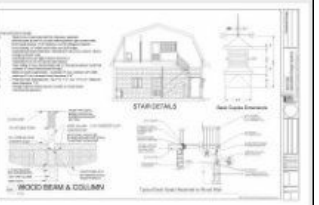

2ND FLOOR PLAN
FOUNDATION PLAN

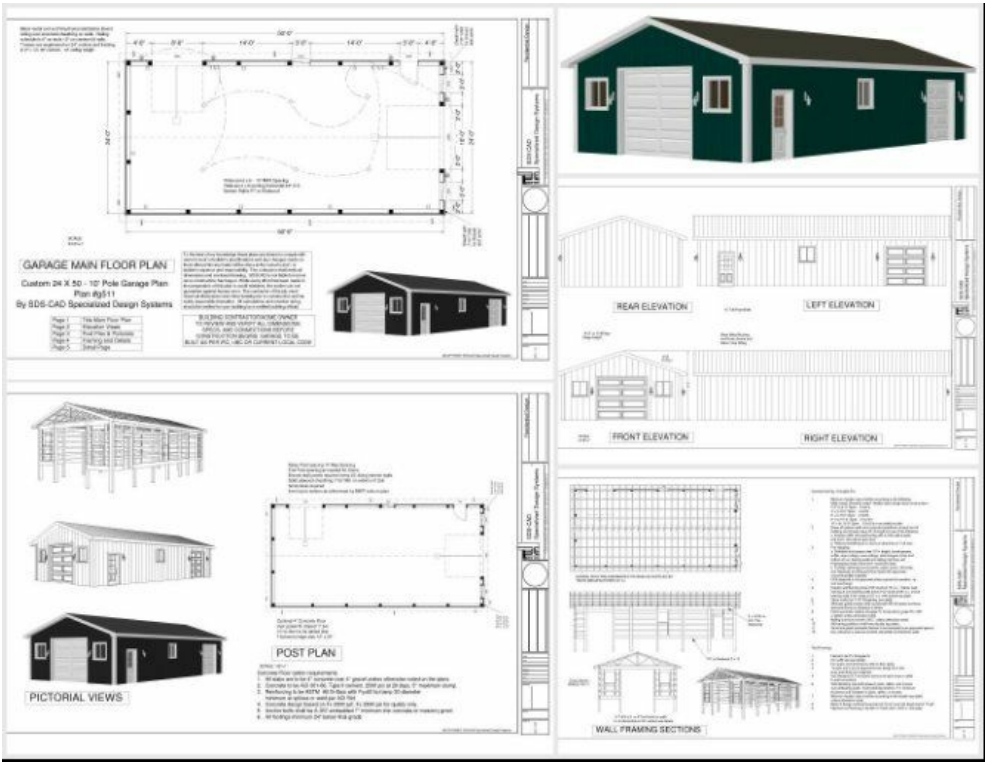

#g607 20 x 24 x 8 Garage Plans
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
WALL FRAMING SECTIONS
PICTORIAL VIEWS
FOUNDATION PLAN

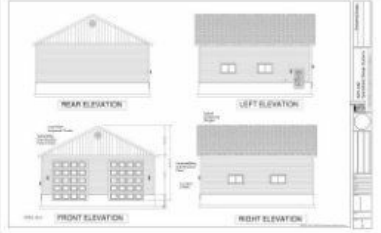

GARAGE MAIN FLOOR PLAN

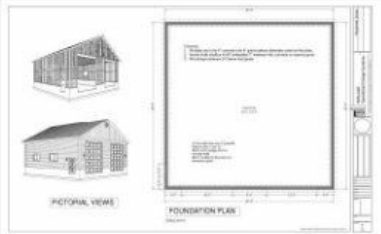

SECOND FLOOR PLAN

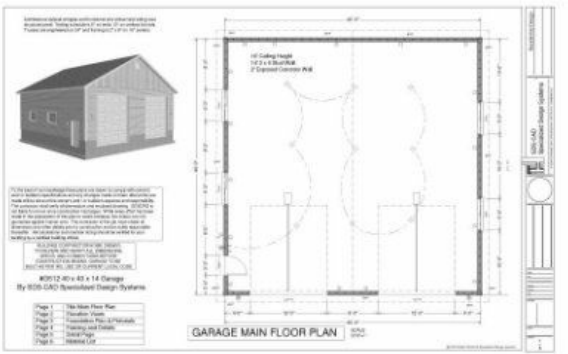

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


STAIR DETAILS
WOOD BEAM & COLUMN

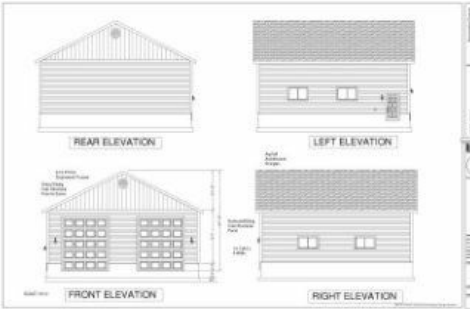

GARAGE MAIN FLOOR PLAN
Custom 24 X 50 - 10' Pole Garage Plan
Plan #g511
By SDS-CAD Specialized Design Systems
BUILDING CONTRACTOR/OWNER OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, GRADES, AND CONDITIONS BEFORE DOING FOUNTION BUILDING. FRAMING TO BE BUILT AS PER IRC, IMC OR CURRENT LOCAL CODE
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
PICTORIAL VIEWS
POST PLAN
WALL FRAMING SECTIONS

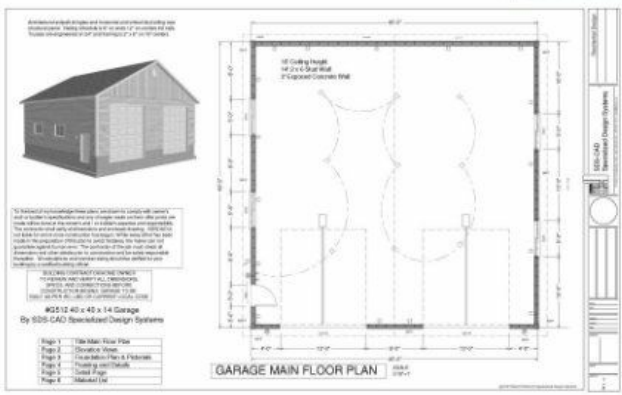

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


PICTORIAL VIEWS
FOUNDATION PLAN


GARAGE MAIN FLOOR PLAN

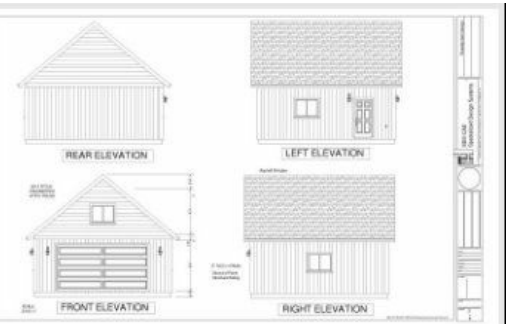

WALL FRAMING SECTIONS


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


#G512 40 x 40 x 14 Garage
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN


WALL FRAMING SECTIONS

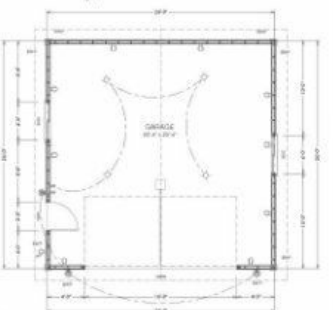

PICTORIAL VIEWS
FOUNDATION PLAN



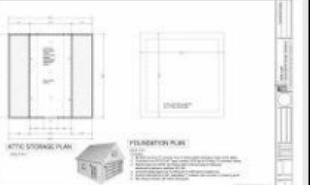
BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, GRADES, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC LIBC OR CURRENT LOCAL CODE

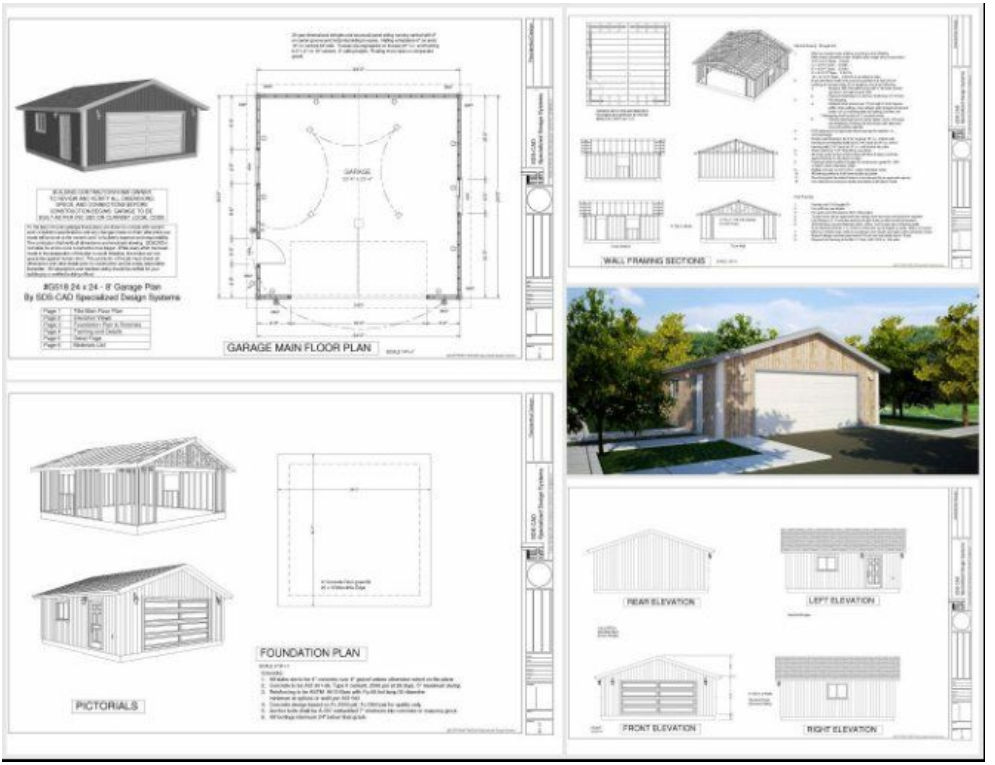
#G514 24 x 24 - 9' Garage Plan
By SDS-CAD Specialized Design Systems

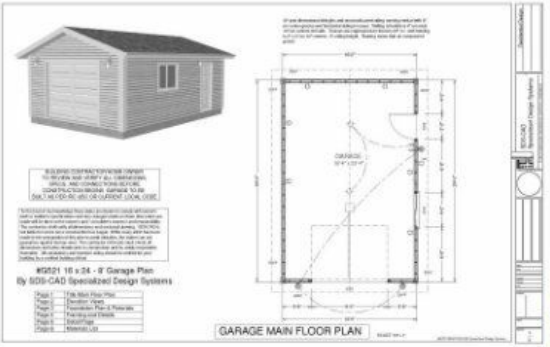
Page 1	Site Main Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Pictorials
Page 4	Framing and Details
Page 5	Detail Pages
Page 6	Materials List



GARAGE MAIN FLOOR PLAN

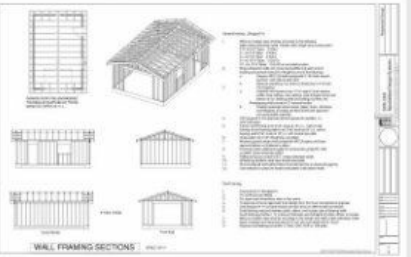



#G018 24 x 24 - 8' Garage Plan
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
WALL FRAMING SECTIONS
PICTORIALS
FOUNDATION PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

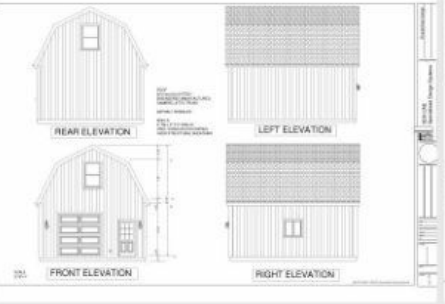

#9521 16 x 24 - 9' Garage Plan
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN

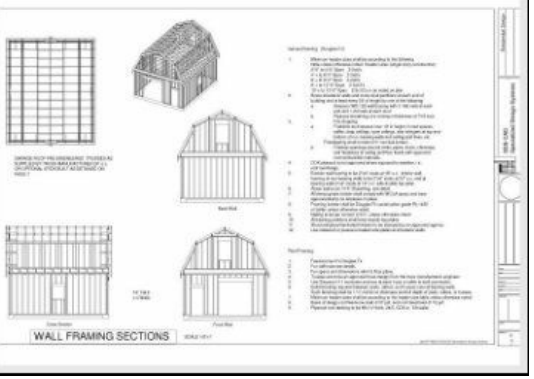

PICTORIALS
FOUNDATION PLAN


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


WALL FRAMING SECTIONS


#g524 20 x 24 x 10 Gambrel Barn Plans
By SDS-CAD Specialized Design Systems
BARN MAIN FLOOR PLAN

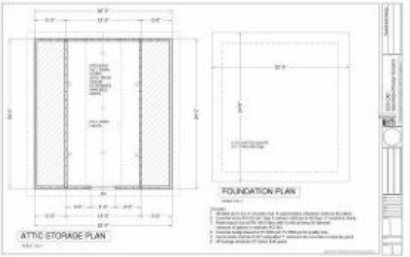

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


WALL FRAMING SECTIONS

#GS26 22 x 24 - 8' Garage Plan With Loft
By SDS-CAD Specialized Design Systems

Page 1	Title Block Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Pictorials
Page 4	Framing and Details
Page 5	Detail Page
Page 6	Material List

GARAGE MAIN FLOOR PLAN



ATTIC STORAGE PLAN

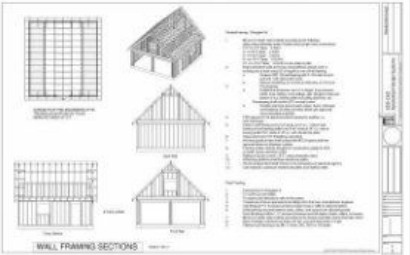
FOUNDATION PLAN

REAR ELEVATION

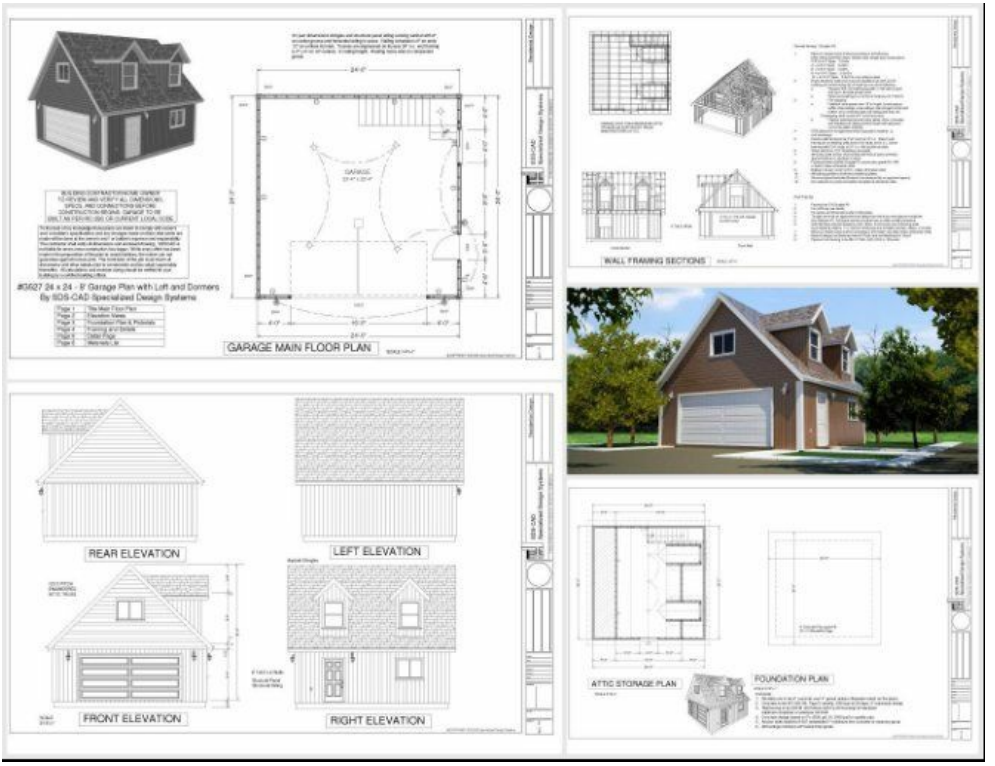
LEFT ELEVATION

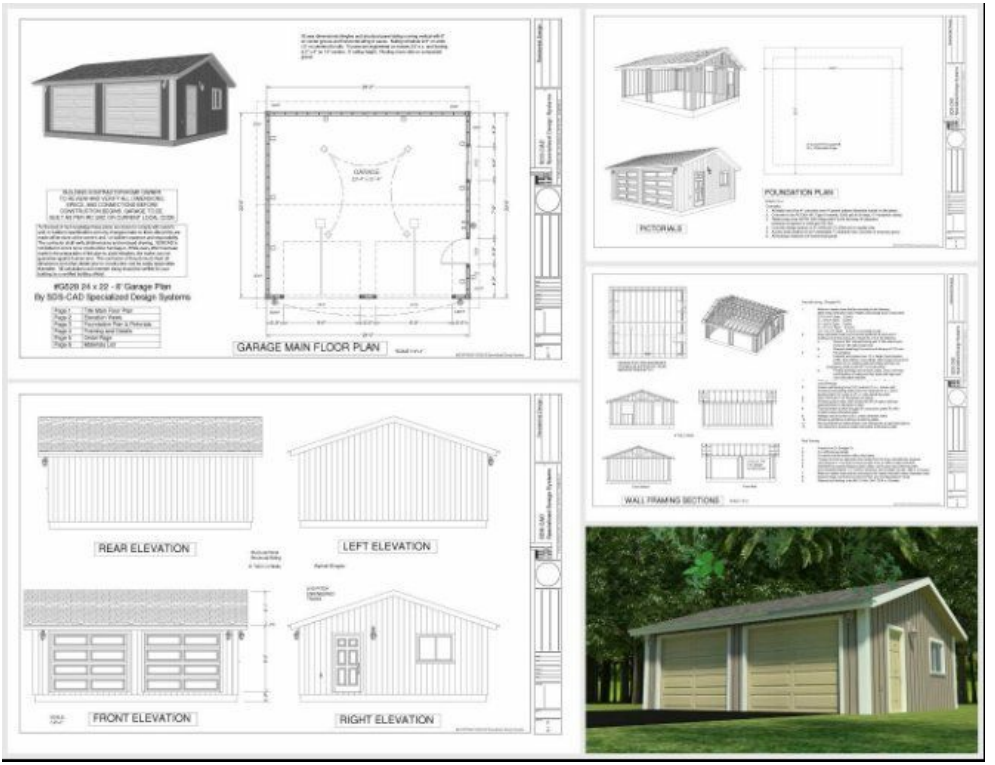
FRONT ELEVATION

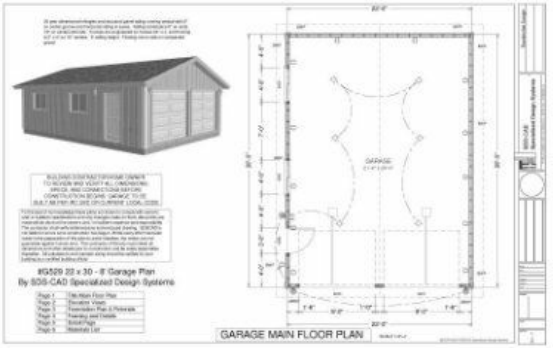
RIGHT ELEVATION

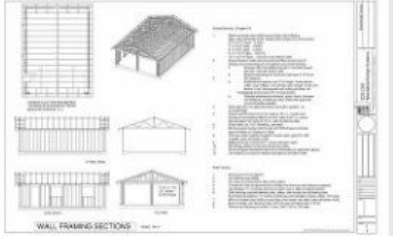


WALL FRAMING SECTIONS

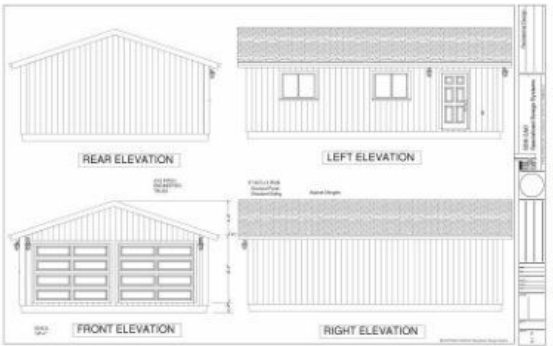

#3627 24 x 24 - 8' Garage Plan with Loft and Dormers
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
WALL FRAMING SECTIONS
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
ATTIC STORAGE PLAN
FOUNDATION PLAN


#G020 24 x 22 - 8' Garage Plan
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
PICTORIALS
FOUNDATION PLAN
WALL FRAMING SECTIONS
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


#G529 22 x 30 - 8' Garage Plan
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN


WALL FRAMING SECTIONS


PICTORIALS
FOUNDATION PLAN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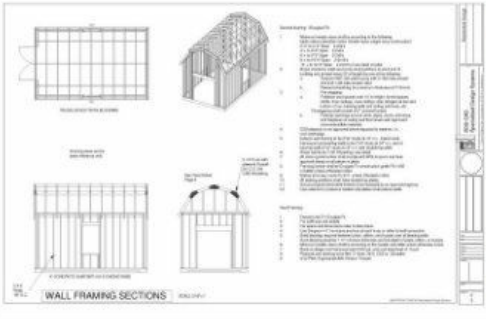
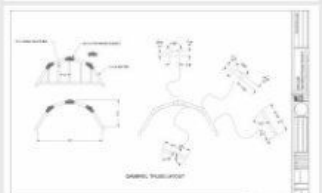
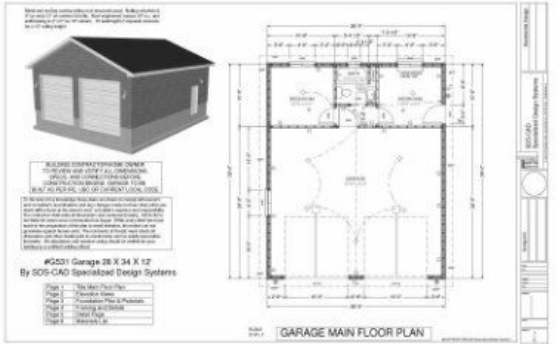
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

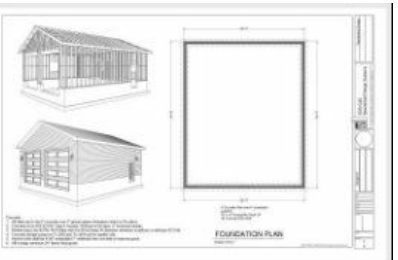

WALL FRAMING SECTIONS


BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. BARN TO BE BUILT AS PER LOCAL CODE REQUIREMENTS.
#G484 12 x 20 x 10 Gambrel Shed
By SDS-CAD Specialized Design Systems
BARN MAIN FLOOR PLAN


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

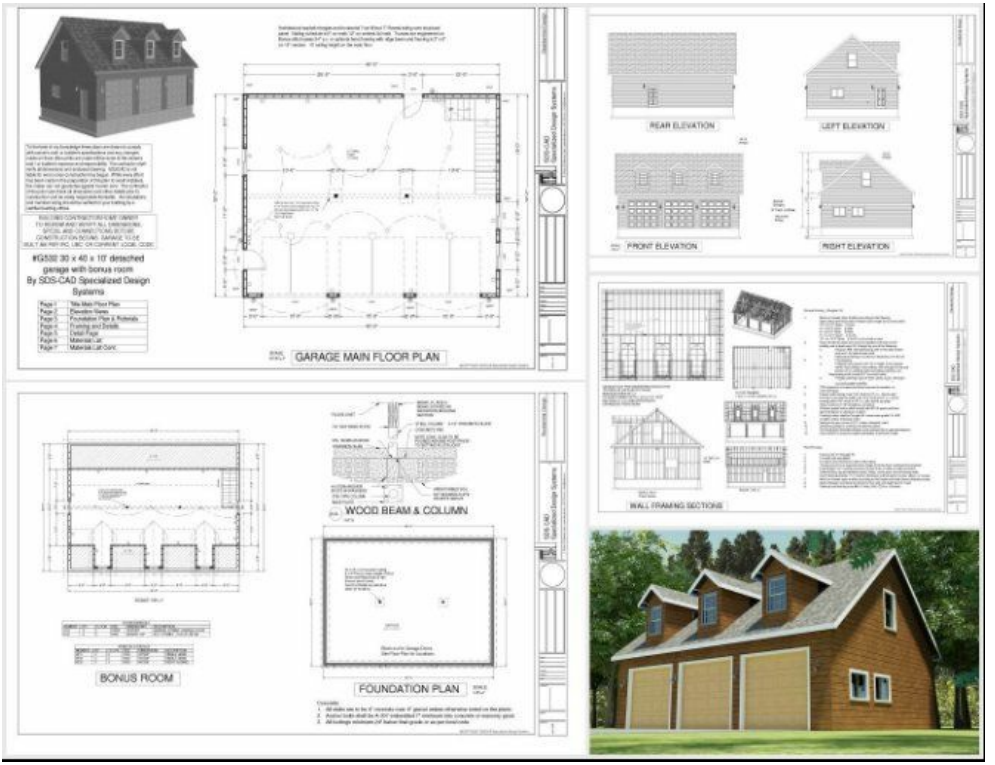


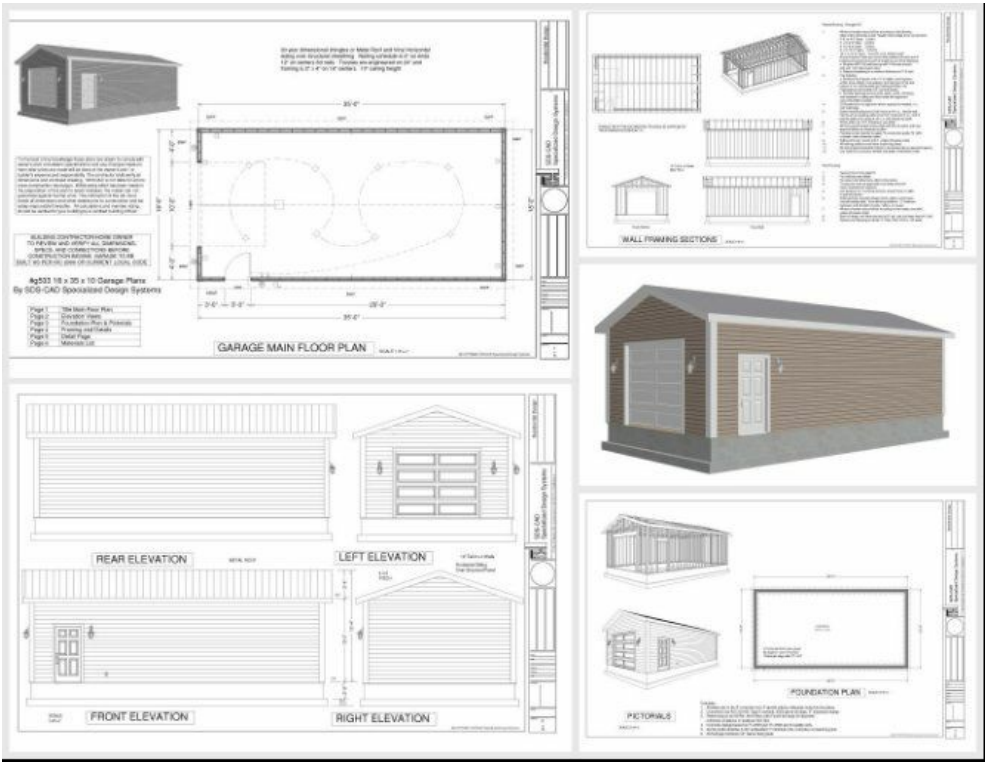

#G531 Garage 26 X 34 X 12'
By SOS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN

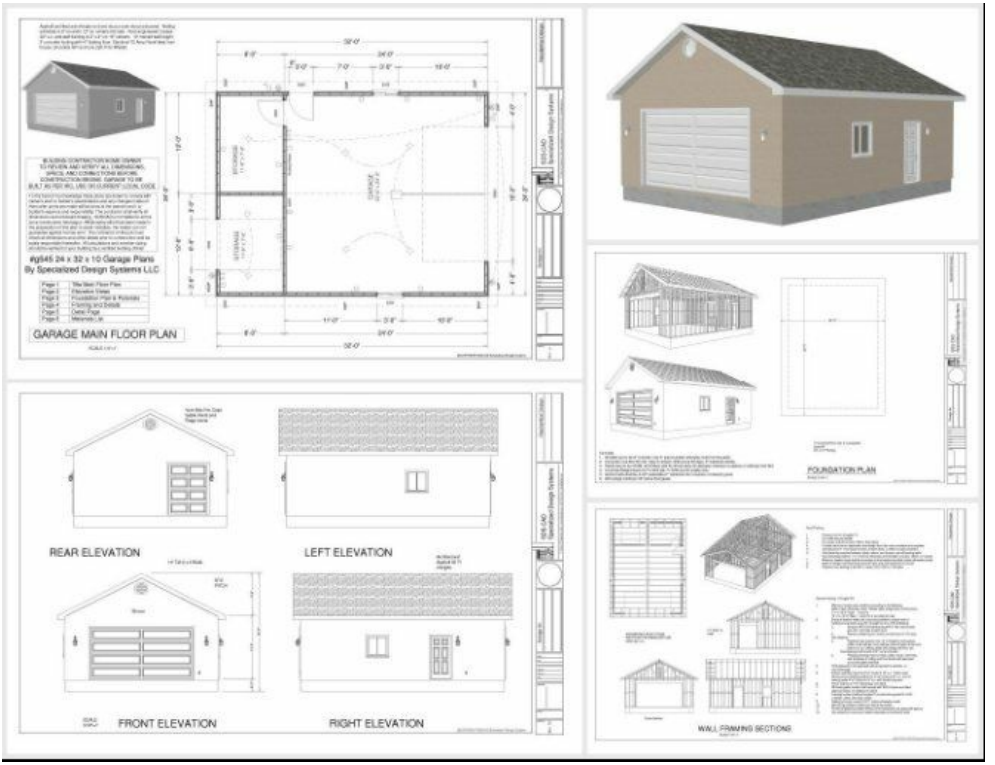

FOUNDATION PLAN

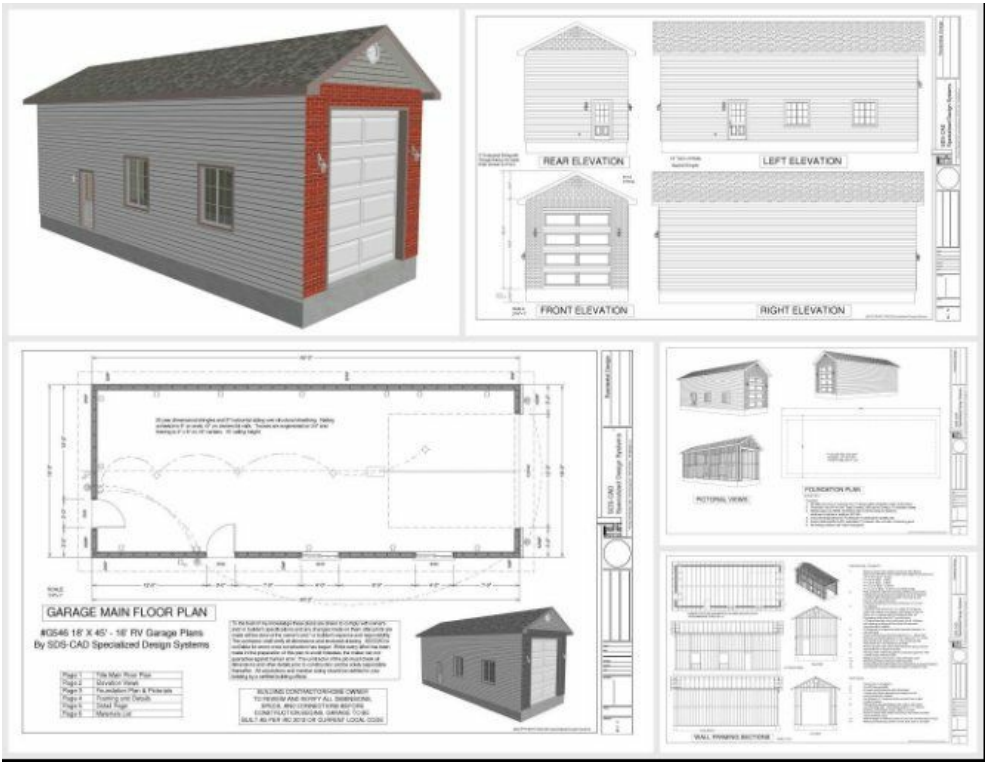

WALL FRAMING SECTIONS

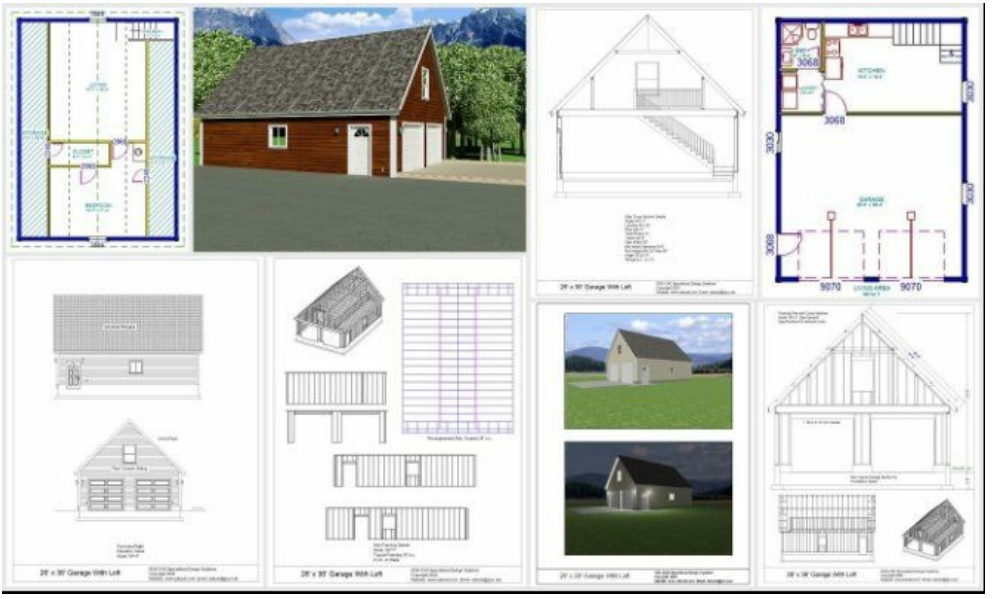

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


#G302 30 x 40 x 10' detached garage with bonus room
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
WALL FRAMING SECTIONS
WOOD BEAM & COLUMN
BONUS ROOM
FOUNDATION PLAN

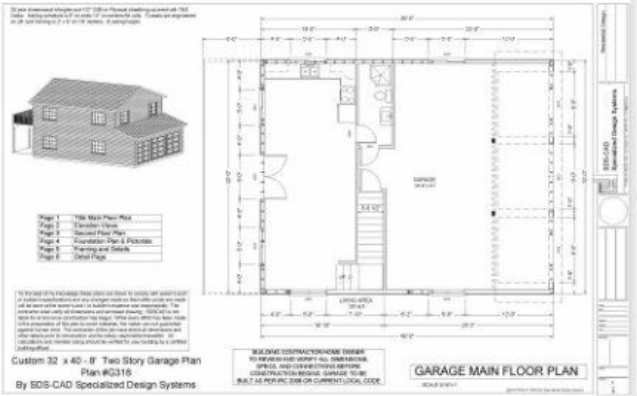

GARAGE MAIN FLOOR PLAN
WALL FRAMING SECTIONS
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
PICTORIALS
FOUNDATION PLAN

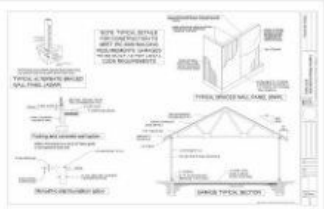

#g545 24 x 32 x 10 Garage Plans
By Specialized Design Systems LLC
GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
FOUNDATION PLAN
WALL FRAMING SECTIONS


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
GARAGE MAIN FLOOR PLAN
#GS46 18' X 45' - 18' RV Garage Plans
By SDS-CAD Specialized Design Systems
PICTORIAL VIEWS
FOUNDATION PLAN
WALL FRAMING SECTIONS

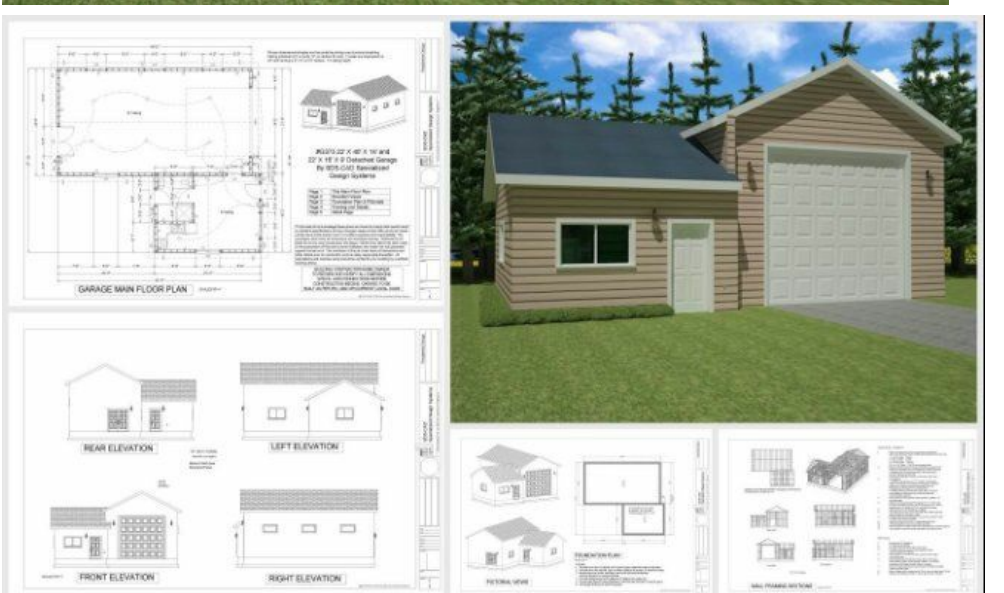

3068
3030
9070
9070
28' x 30' Garage With Loft


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


Page 1 Title Main Floor Plan
Page 2 Elevation Views
Page 3 Second Floor Plan
Page 4 Foundation Plan & Pictures
Page 5 Framing and Details
Page 6 Detail Page
Custom 32 x 40 - 8' Two Story Garage Plan
Plan #G316
By SDS-CAD Specialized Design Systems
BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONDITIONS BEFORE
CONSTRUCTION BEGINS. GARAGE TO BE
BUILT AS PER IRC 2006 OR CURRENT LOCAL CODE
GARAGE MAIN FLOOR PLAN




SECOND FLOOR PLAN


GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
SECOND FLOOR PLAN
FOUNDATION PLAN
PICTORIAL


GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


GARAGE MAIN FLOOR PLAN
SECOND FLOOR
FOUNDATION PLAN

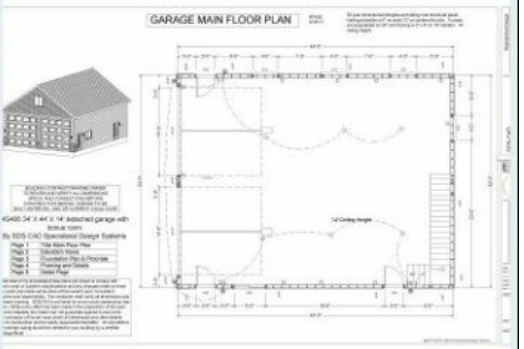

GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

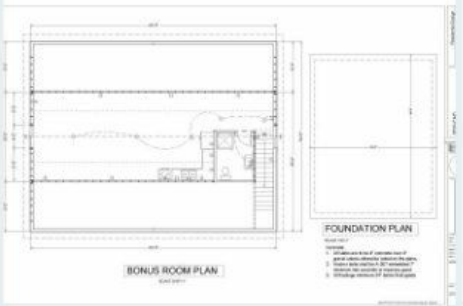

GARAGE MAIN FLOOR PLAN
BONUS ROOM PLAN
FOUNDATION PLAN

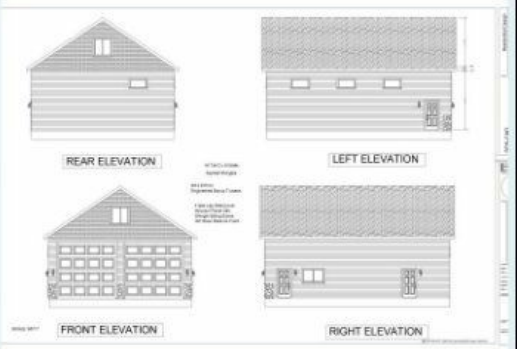

GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


GARAGE MAIN FLOOR PLAN
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
GARAGE MAIN FLOOR PLAN
WALL FRAMING SECTIONS
PICTORIAL VIEWS
BONUS ROOM PLAN
FOUNDATION PLAN

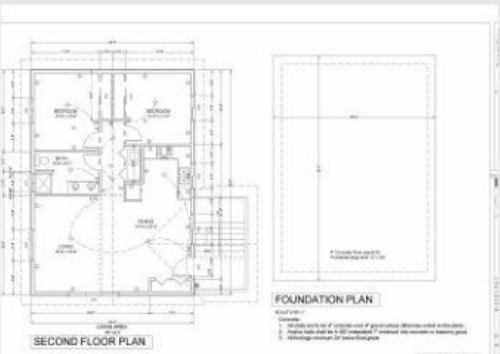

GARAGE MAIN FLOOR PLAN
14' Ceiling Height

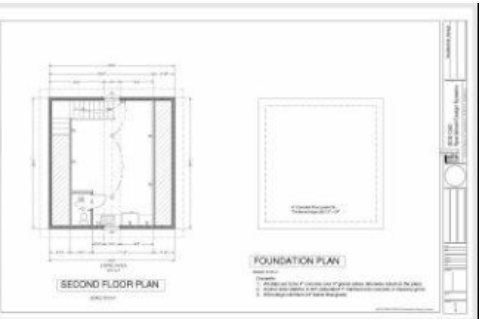

BONUS ROOM PLAN
FOUNDATION PLAN

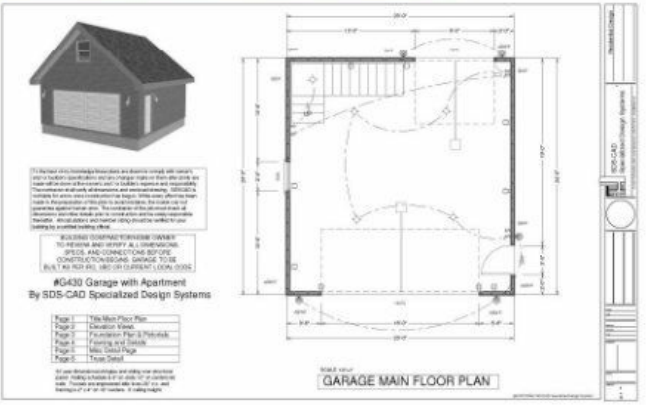

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

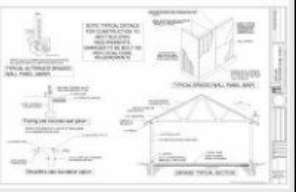

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

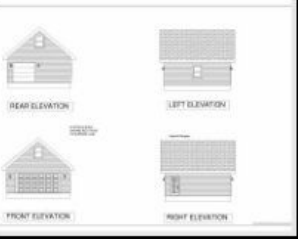

34'-0 26 x 36 x 9-detached garage with 2nd story
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN


SECOND FLOOR PLAN
FOUNDATION PLAN

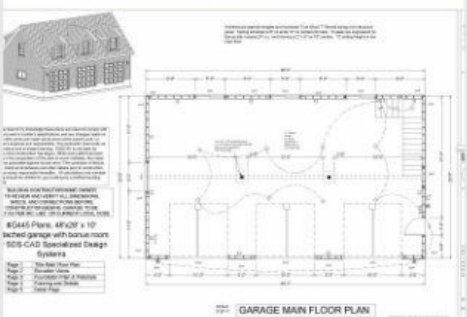

SECOND FLOOR PLAN
FOUNDATION PLAN

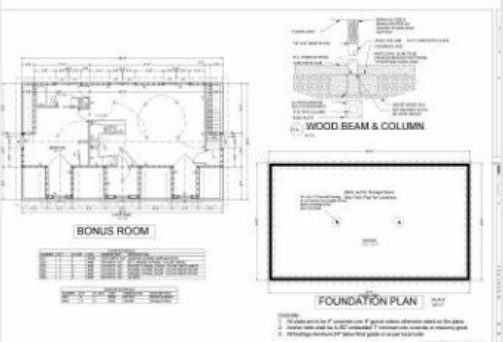

#G430 Garage with Apartment
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN

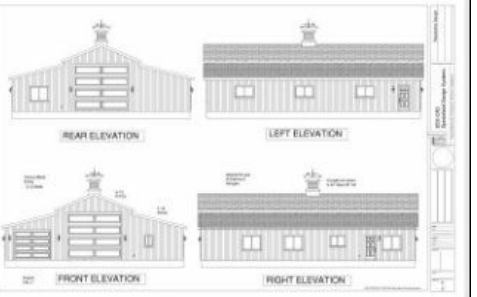


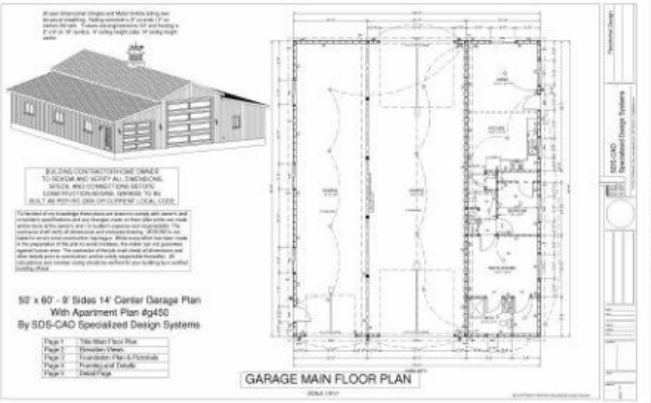

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

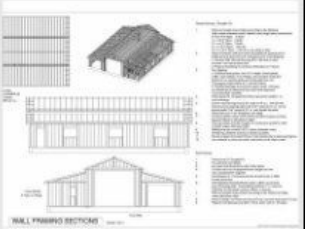

#G445 Plans: 48'x28' x 10'
tached garage with bonus room
SDS-CAD Specialized Design
Systems
GARAGE MAIN FLOOR PLAN

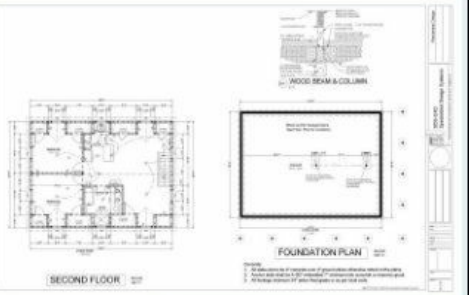

WOOD BEAM & COLUMN
BONUS ROOM
FOUNDATION PLAN

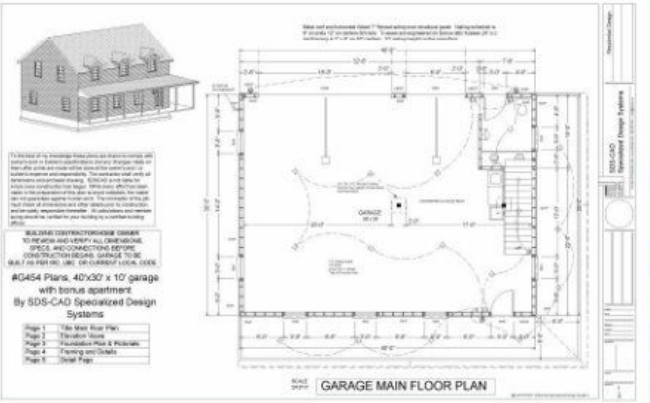

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

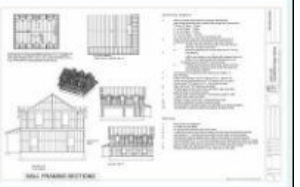

BUILDING CONTRACTOR HAS CHARGE
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. SERVICES TO BE
BUILT AS PER PRE 2006 OR CURRENT LOCAL CODE
50' x 60' - 9' Sides 14' Center Garage Plan
With Apartment Plan #g450
By SDS-CAD Specialized Design Systems
Page 1 Title Main Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Pictorials
Page 4 Framing and Details
Page 5 Detail Page
GARAGE MAIN FLOOR PLAN


PICTORIAL VIEWS
FOUNDATION PLAN

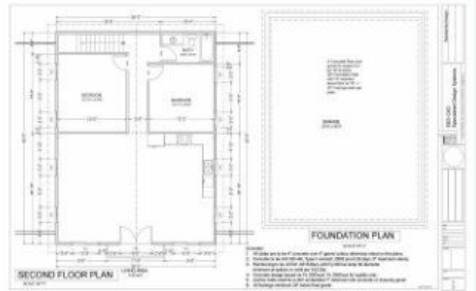

WALL FRAMING SECTIONS


WOOD BEAM & COLUMN
FOUNDATION PLAN
SECOND FLOOR


BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC, UBC, OR CURRENT LOCAL CODE.
#G454 Plans, 40'x30' x 10' garage with bonus apartment
By SDS-CAD Specialized Design Systems
Page 1 Title Main Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Materials
Page 4 Framing and Details
Page 5 Detail Page
GARAGE
GARAGE MAIN FLOOR PLAN
SDS-CAD Specialized Design Systems


WALL FRAMING SECTIONS


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION

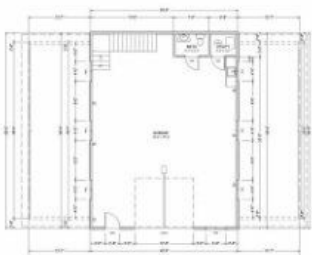


BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECIAL AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC, UBC OR CURRENT LOCAL CODE

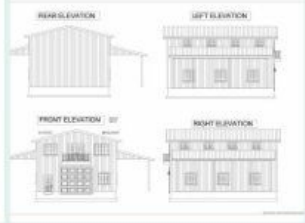
dg460 25 x 40 x 10 workshop
By SDS-CAD Specialized Design Systems

Page 1	Title Main Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Pictorials
Page 4	Framing and Details
Page 5	Detail Page

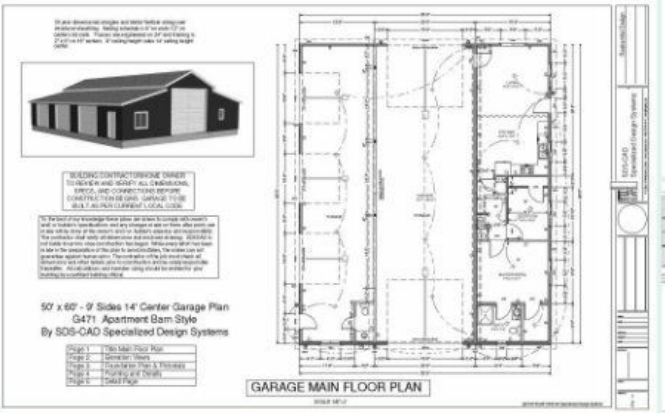
Building Specs:
Metal Roof over SIS-structural C300 panel and walls metal or vinyl siding over structural sheathing. Nailing schedule is 6" on walls 12" on centers 60 nails. Trusses are engineered on 24" and wall framing is 2" x 4" stacked at 8 on 16" centers. 12 or 10' ceiling height as per owner requirements. Snow load is 100 pounds, wind rating is 90 mph gusts for 3 sec gusts and the system code is 01.

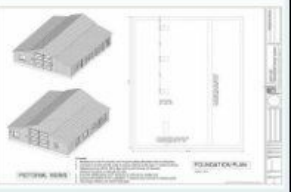


GARAGE MAIN FLOOR PLAN

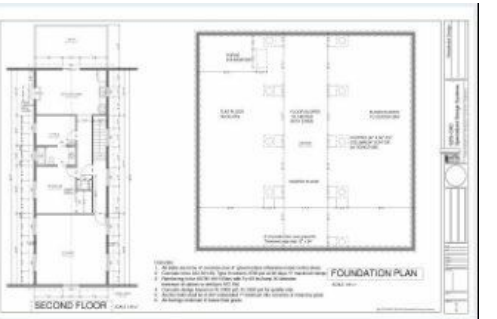



REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER CURRENT LOCAL CODE
50' x 60' - 9' Sides 14' Center Garage Plan
G471 Apartment Barn Style
By SDS-CAD Specialized Design Systems
GARAGE MAIN FLOOR PLAN


PICTORIAL VIEWS
FOUNDATION PLAN

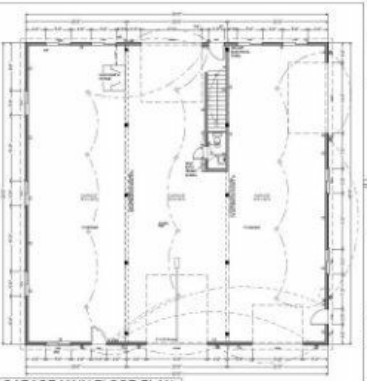

WALL FRAMING SECTIONS

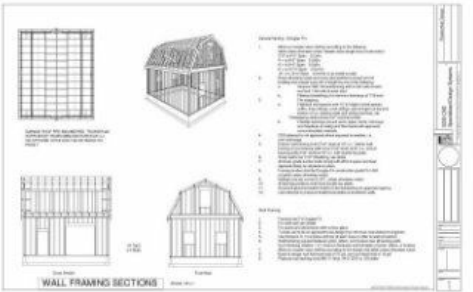


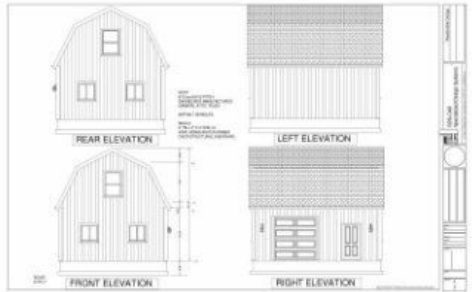
BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. CONFORM TO BE BUILT AS PER BC 2011 OR CURRENT LOCAL CODE

#G468 60 x 60 -14' Monitor Barn Style
By SDS-CAD Specialized Design Systems

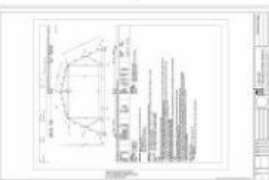
Page 1	Title-Main Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Materials
Page 4	Framing and Details
Page 5	Detail Page

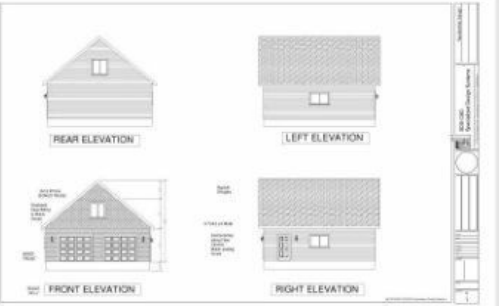



WALL FRAMING SECTIONS


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


BUILDING CONTRACTOR/OWNER OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.BARN TO BE BUILT AS PER IRC 2006 OR CURRENT LOCAL CODE
#g537 20 x 24 x 10 Gambrel Barn Plans
By SDS-CAD Specialized Design Systems
Page 1 Title Block Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plans & Pictorials
Page 4 Framing and Details
Page 5 Detail Page
Page 6 Optional Framing Detail
Page 7 Materials List
GARAGE
BARN MAIN FLOOR PLAN

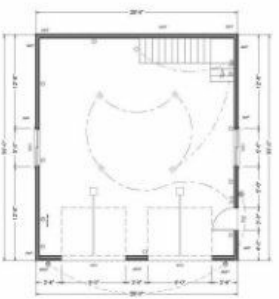




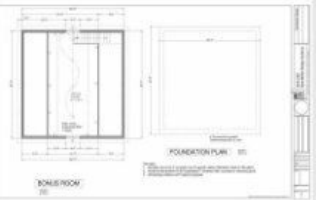
BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, GRIDS, AND CONDITIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC, UBC, OR CURRENT LOCAL CODE.

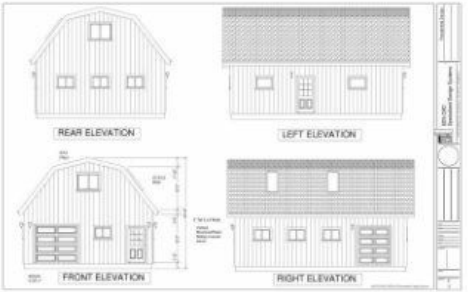
#GS50 Plans 28 x 30 x 9 detached garage with bonus room

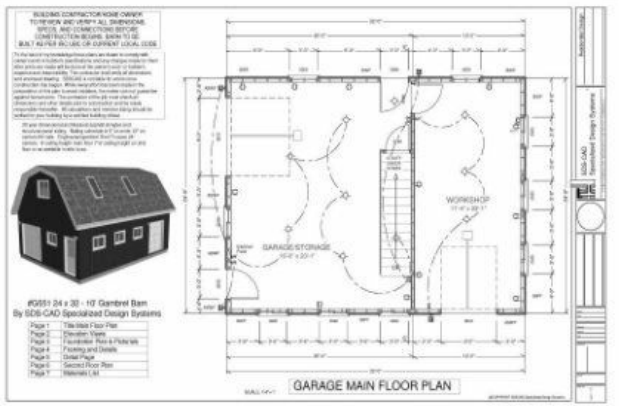
By SDS-CAD Specialized Design Systems

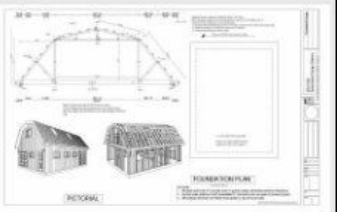


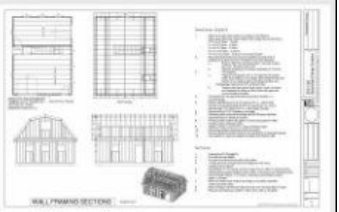
GARAGE MAIN FLOOR PLAN

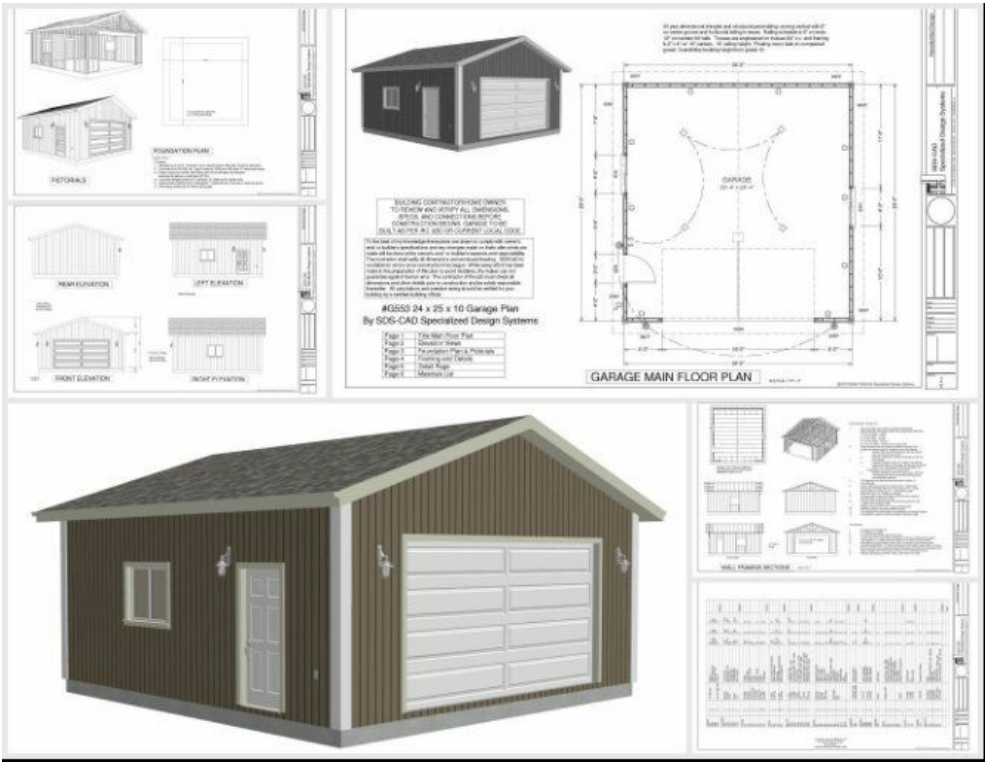


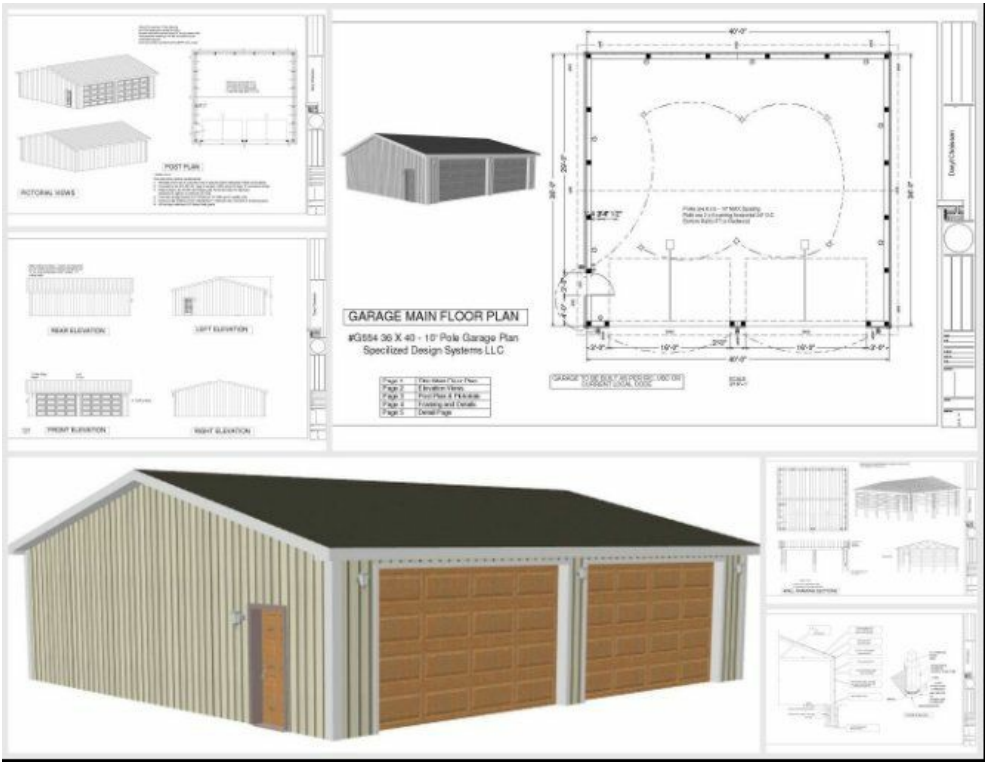

REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


BUILDING CONTRACTOR NOW OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. SHOW TO BE
BUILT AS PER INCLUDE OR CURRENT LOCAL CODE
#GS51 24 x 32 - 10' Gambrel Barn
By SDS-CAD Specialized Design Systems
Page 1 Title Block Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Pictorials
Page 4 Framing and Details
Page 5 Detail Page
Page 6 Second Floor Plan
Page 7 Materials List
GARAGE STORAGE
WORKSHOP
GARAGE MAIN FLOOR PLAN


PICTORIAL
FOUNDATION PLAN

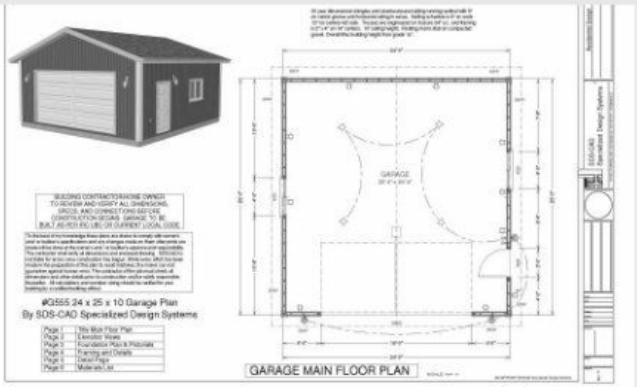

WALL FRAMING SECTIONS

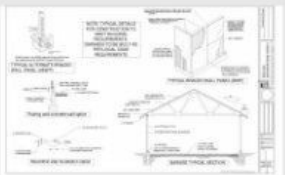

PICTORIALS
FOUNDATION PLAN
MAIN ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. GARAGE TO BE
BUILT AS PER ALL SDS-CAD CURRENT LOCAL CODE
#GS53 24 x 25 x 10 Garage Plan
By SDS-CAD Specialized Design Systems
Page 1 Title Main Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Pictorials
Page 4 Framing and Details
Page 5 Detail Page
Page 6 Materials List
GARAGE
GARAGE MAIN FLOOR PLAN
WALL FRAMING SECTIONS

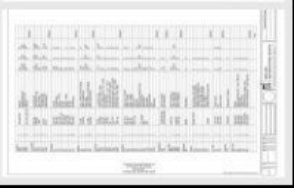

POST PLAN
PICTORIAL VIEWS
REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION
GARAGE MAIN FLOOR PLAN
#G554 36 X 40 - 10' Pole Garage Plan
Specilized Design Systems LLC
40'-0"
36'-0"
19'-0"
2'-0"

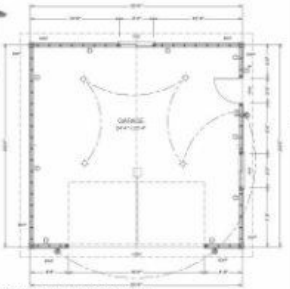

WALL FRAMING SECTIONS


REAR ELEVATION
LEFT ELEVATION
FRONT ELEVATION
RIGHT ELEVATION


BUILDING CONTRACTOR/OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, GRIDS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. GARAGE TO BE BUILT AS PER IRC USE OF CURRENT LOCAL CODE.
#G555 24 x 25 x 10 Garage Plan
By SDS-CAD Specialized Design Systems
Page 1 Title Blue Floor Plan
Page 2 Elevation Views
Page 3 Foundation Plan & Footings
Page 4 Framing and Details
Page 5 Detail Page
Page 6 Materials List
GARAGE
GARAGE MAIN FLOOR PLAN







#G556 25 x 24 x 10 Garage Plan
By SDS-CAD Specialized Design Systems

Page 1	Title Page/ Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Pictorials
Page 4	Framing and Details
Page 5	Roof Plan
Page 6	Materials List

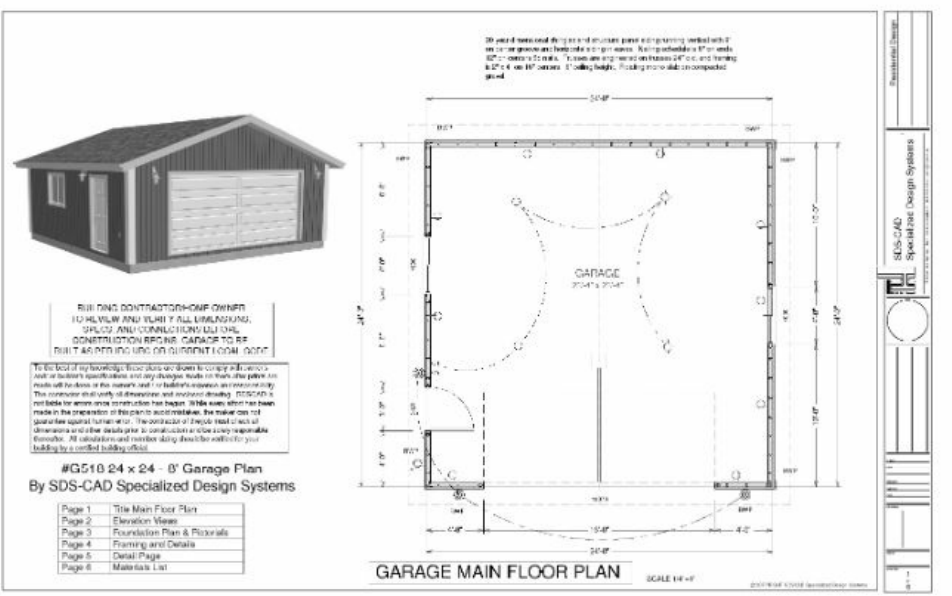
REAR ELEVATION

LEFT ELEVATION

FRONT ELEVATION

RIGHT ELEVATION

Bonus 24’ x 24’ x 8’ Garage Plans Full Plans with Download



REAR ELEVATION

LEFT ELEVATION

Asphalt Shingles

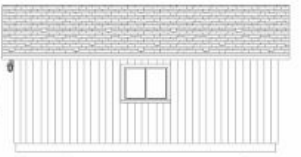
10/12 PITCH
ENGINEERED
ATTIC TRUSS

SCALE
3/16"=1'

FRONT ELEVATION

9' Tall 2 x 4 Walls

Structural Panel
Structural Siding



RIGHT ELEVATION

PICTORIALS

FOUNDATION PLAN

SCALE 3/16"=1'

Concrete:

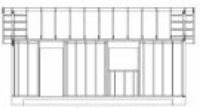
1. All slabs are to be 4" concrete over 4" gravel unless otherwise noted on the plans.
2. Concrete to be ACI 301-66, Type II cement, 2500 psi at 28 days, 5" maximum slump.
3. Reinforcing to be ASTM A615-Bars with Fy=60 ksi lamp 30 diameter minimum at splices or weld per ACI 318.
4. Concrete design based on Fc 2500 psi, Fc 2500 psi for quality only.
5. Anchor bolts shall be A-307 embedded 7" minimum into concrete or masonry grout.
6. All footings minimum 24" below final grade

Residential Design
SDS-CAD
Specialized Design Systems

GARAGE ROOF PRE-ENGINEERED TRUSSES AS SUPPLIED BY TRUSS MANUFACTURER 24" O.C.

General framing: Douglas Fir

1. Minimum header sizes shall be according to the following table unless otherwise noted. Header sizes (single story construction)
   2'-0" to 4'-0" Span 2-2x4's
   4' x to 6'-0" Span 2-2x6's
   6' x to 8'-0" Span 2-2x8's
   8' x to 10'-0" Span 2-2x10's
   10' x to 12'-0" Span 2-2x12's or as noted on plan
2. Brace all exterior walls and cross-stud partitions at each end of building and at least every 25' of length by one of the following:
   a. Simpson WB 12/8 wall bracing with 3-16d nails at each end and 1-8d nails at each stud.
   b. Plywood sheathing of a minimum thickness of 7/16 inch
3. Fire stopping:
   a. Firestop stud spaces over 10' in height, furred spaces, soffits, drop ceilings, cove ceilings, stair stringers at top and bottom of run, bearing walls and ceiling joist lines, etc.
   Firestopping shall consist of 2" nominal lumber.
   b. Firestop openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor levels with approved noncombustible materials.
4. CDX plywood is not approved where exposed to weather, i.e., roof overhangs.
5. Exterior wall framing to be 2"x4" studs at 16" o.c. Interior wall framing at non-bearing walls to be 2"x4" studs at 24" o.c. and at bearing walls 2"x4" studs at 16" o.c. with double top plate
6. Shear wall to be 7/16" Sheathing, see detail.
7. All stress grade lumber shall comply with WCLA specs and bear approval stamp or affidavit in place.
8. Framing lumber shall be Douglas Fir construction grade #1 1450 or better unless otherwise noted.
9. Nailing to be per current U.B.C. unless otherwise noted.
10. All bearing partitions shall have double top plates.
11. Structural glued laminated timbers to be stamped by an approved agency.
12. Use redwood or pressure treated sole plates at all exterior walls.



Cross Section

6' Tall 2 x Walls

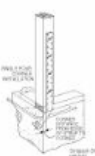
Front Wall

Roof Framing:

1. Fascia to be 2"x Douglas Fir.
2. For soffit size see details.
3. For spans and dimensions refer to floor plans.
4. Trusses are to be an approved truss design from the truss manufacturer's engineer.
5. Use Simpson H-1 hurricane anchors at each truss or rafter to wall connection.
6. Solid blocking required between joists, rafters, and trusses over all bearing walls. Such blocking shall be 1 ½" minimum thickness and full depth of joists, rafters, or trusses.
7. Minimum header sizes shall be according to the header size table unless otherwise noted.
8. Base of design roof live/snow load of 37 psf, and roof dead load of 15 psf.
9. Plywood roof decking to be Min. ½" thick, 24/0, CDX or .5/8 water.

WALL FRAMING SECTIONS

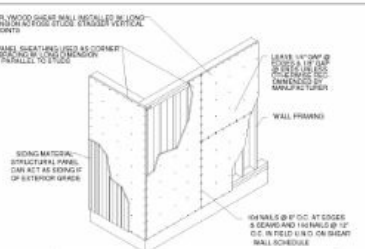
SCALE 1/8"=1'



HPAH-D straps for all (ABWP) Alternate Braced Wall Panels
See additional detail for all (BWP) Braced Wall Panels

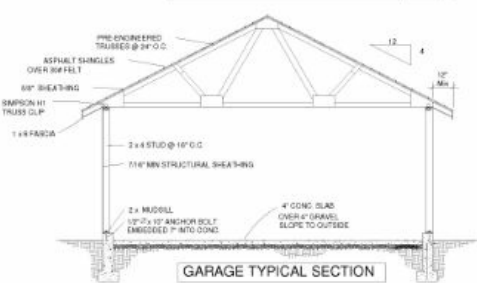
TYPICAL ALTERNATE BRACED WALL PANEL (ABWP)

NOTE: TYPICAL DETAILS FOR CONSTRUCTION TO MEET BUILDING REQUIREMENTS. GARAGES TO BE BUILT AS PER LOCAL CODE REQUIREMENTS

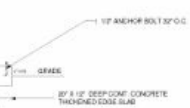


TYPICAL BRACED WALL PANEL (BWP)

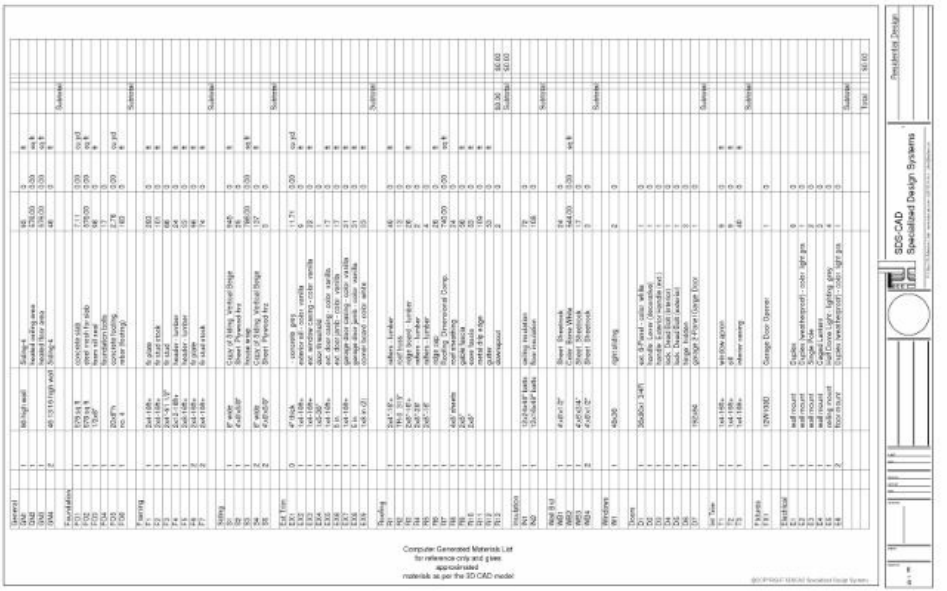
Footing and concrete wall option



GARAGE TYPICAL SECTION



Monolithic slab foundation option



Thank you for looking through our plans, all of these plans can be downloaded in our store at

http://sdsplans.com or purchased on a DVD from Amazon at

http://www.amazon.com/gp/aag/main?

ie=UTF8&asin=&isAmazonFulfilled=&isCBA=&marketplaceID=ATVPDKIKX0DER&order

Links to Download PDF Version of Bonus Plans

G518 24 x 24 x 8 Garage Plans with PDF and DWG

http://www.sdsplans.com/wp-content/uploads/2013/02/G518-24-x-24-x-8-SDS.pdf

Download full sample house plan

http://www.sdsplans.com/wp-content/uploads/2012/04/H267-BJ-Custom-Spec-Sample.pdf

How to Print Plans

Step 1

Download or Email the plans to yourself or send them to a google drive or dropbox if you have one available.

You may also want to email the plans to a local print store that has the ability to print the plans at 100% scale on 11 x 17 paper.

Step 2

Open the plan file in your email.

Step 3

Send the plans to the printer. If you print the plans to fit on a 8 1/2 x 11 paper printer they will be readable but not to scale.

If you have an 11 x 17 printer you can print the plans to scale at 100%. If not email them to a print store that has those capabilities, if you need full scale plans for building.

Links to Purchase the CAD DWG Version of Plans

G518 24 x 24 x 8 Garage Plans with PDF and DWG

http://www.sdsplans.com/#!/~/product/category=137769&id=11876427

Other Garage Plans in our online store

http://www.sdsplans.com/#!/~/category/id=137769&inview=product11876427&offset=0&so

House plans in CAD format can be purchased separately in the store at http://sdsplans.com

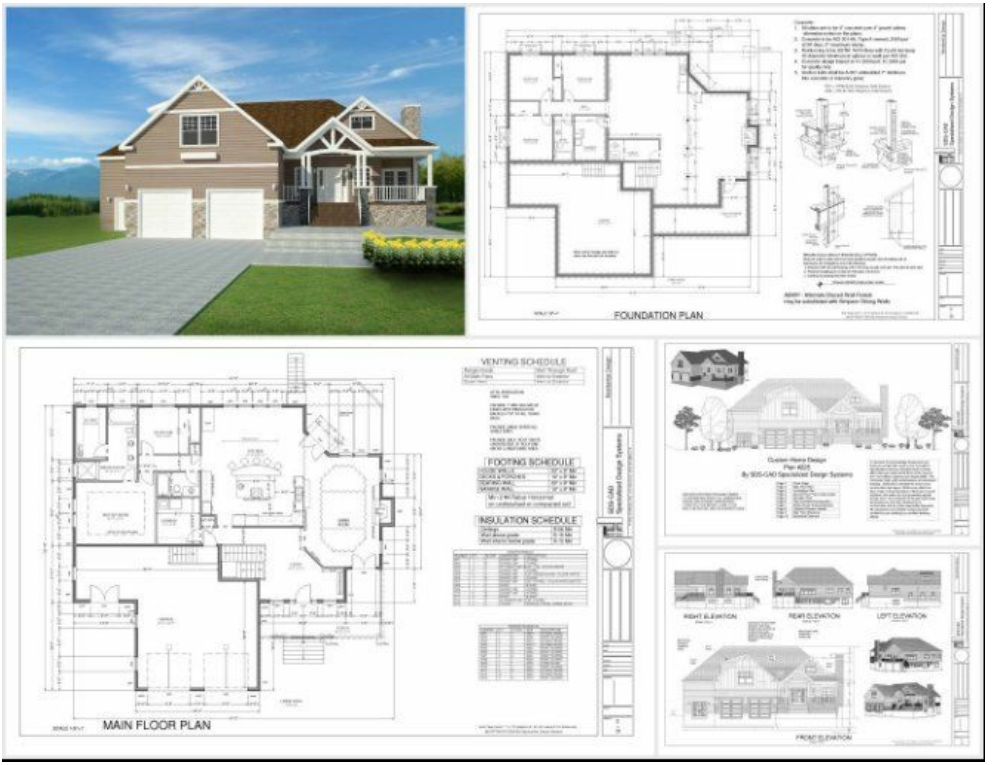
How to Read Prints - Custom House Plan #h225

Rendering

This home was designed for a Dentist and his wife. The home turned out to be a beautiful custom home. This first part of the book is a kind of an explanation of what a set of house plans consists of so that you will have a better understanding of what goes into designing homes. The picture above is a 3D model or rendering of what the house will look like with a yard and concrete, just an artist's idea of possibilities. The picture below is a rendering without the surrounding of the actual 3d model of the house trying to visualize different exterior finishes that can be applied. To get a rendering done for your home costs anywhere from fifty to several hundred dollars depending on how realistic you want the renderings to

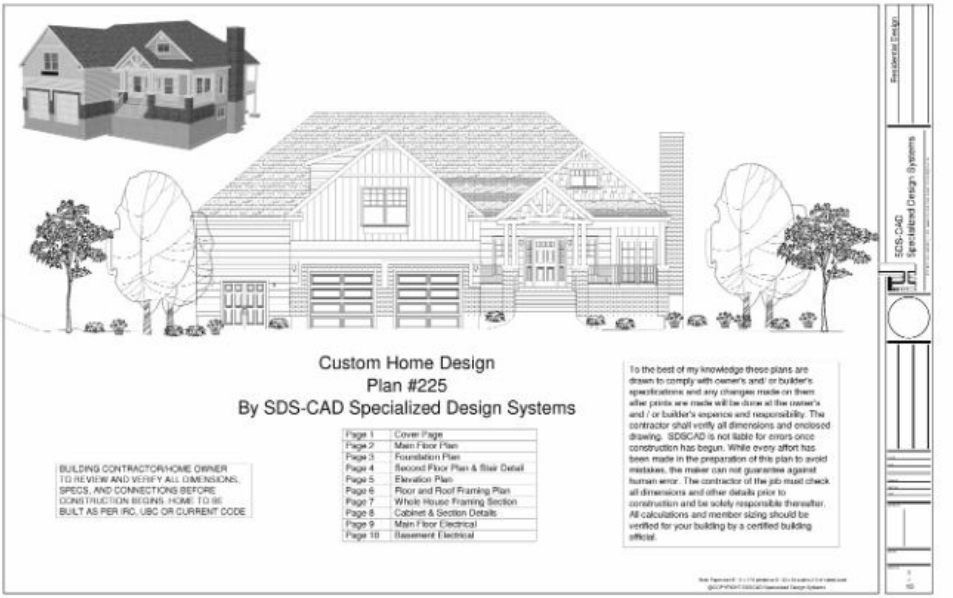
be.

Model Rendering



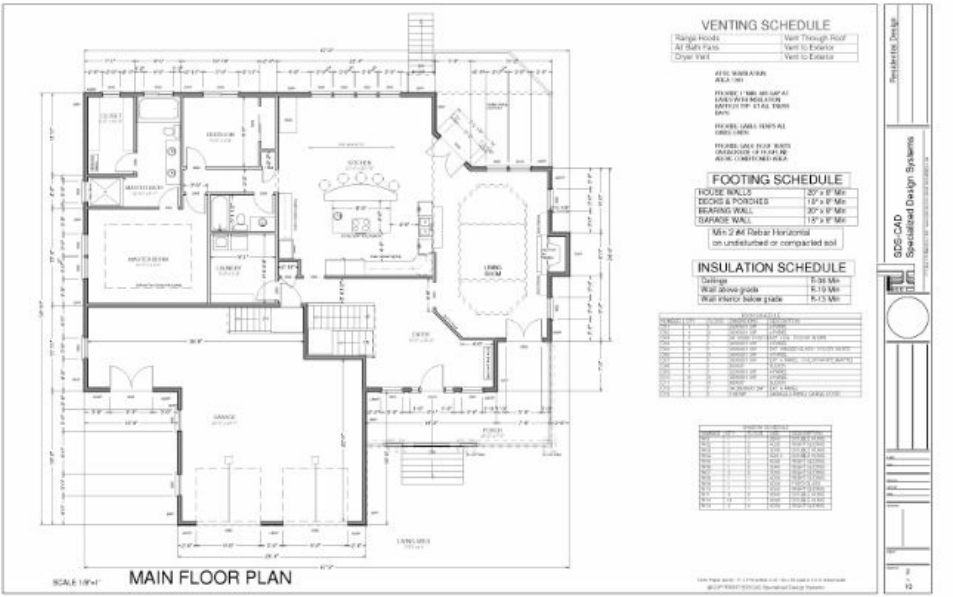
Spec Page

The picture above is a Spec Page. Those are put together to give out as plan overviews showing a few of the pages with the floor plans and elevations. That is what this book is all about, it is the spec pages of 100 different house that have been drawn and that are available to purchase the entire working plans on a DVD for easy printing and building of the homes.



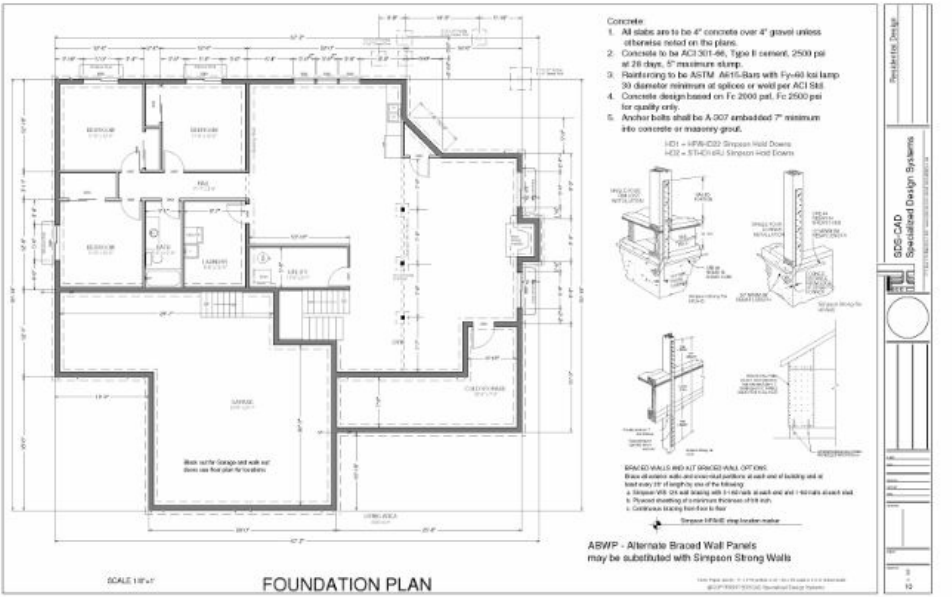
Title Page

The title page gives a nice overview of the home with the table of contents and some information on the codes used on the plans and a rendering.



The Main Floor Plan

The main floor plans shows the details of the main floor of the house with all of the dimensions on the page above is also the schedules for venting, footings, and window and door schedules.

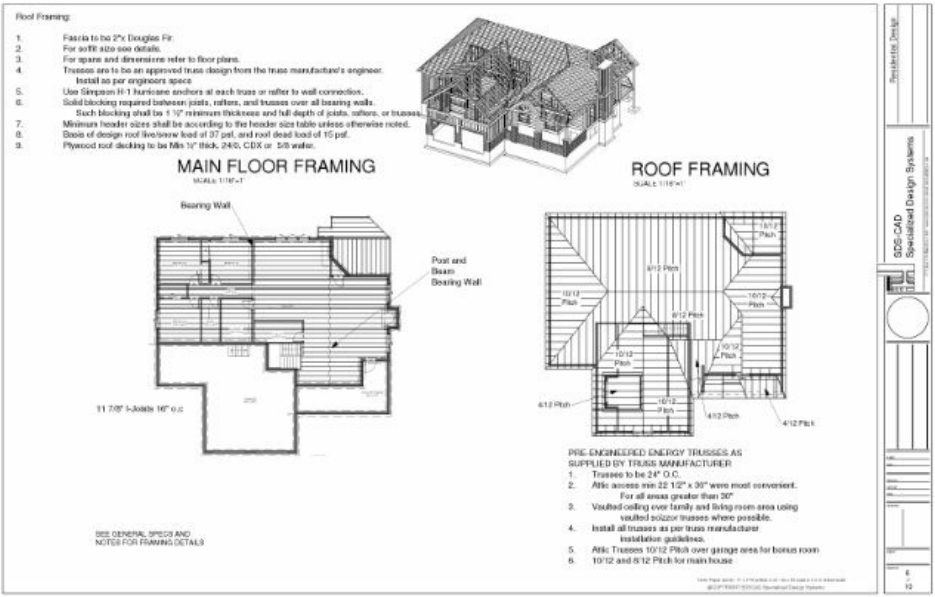


The Foundation Page

The foundation Page is a detail of how the basement is going to be laid out and the requirements for the concrete. Also, this is combined with the floor plan for the basement in the home.

Elevation Page

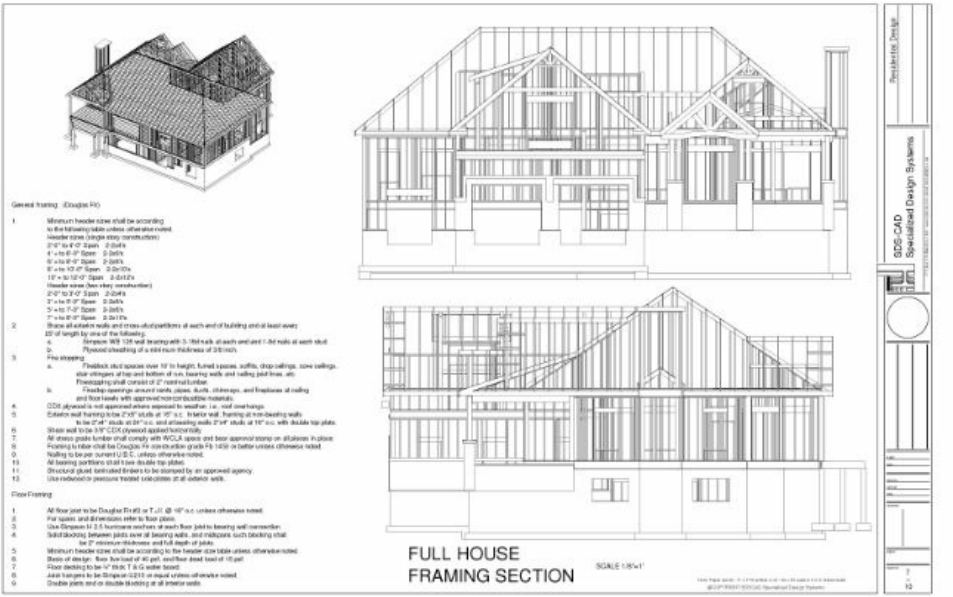
The Elevation page shows what the outside of the house is going to look like and what materials are going to be put on the house. The height of the structure as well as pictorials and other details are added to this page.



Roof and Floor Framing Page

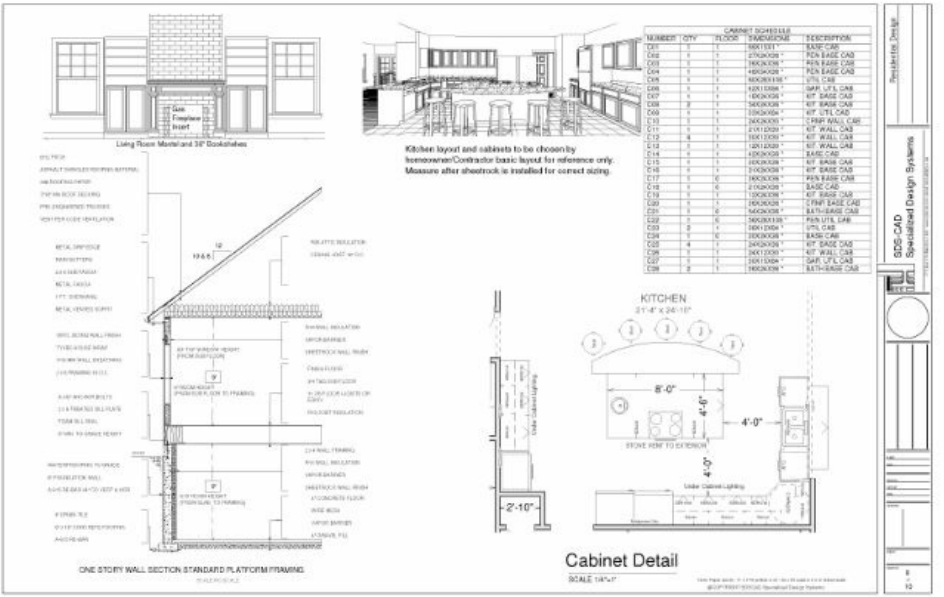
The picture above shows how the floor joists and roof trusses are to be laid out on the home.

The detail specification for framing and any bearing walls are also shown on this page.



Full House Framing Section

Most building department require that a full house section is shown with the plans. This is a framing cross section of the home.



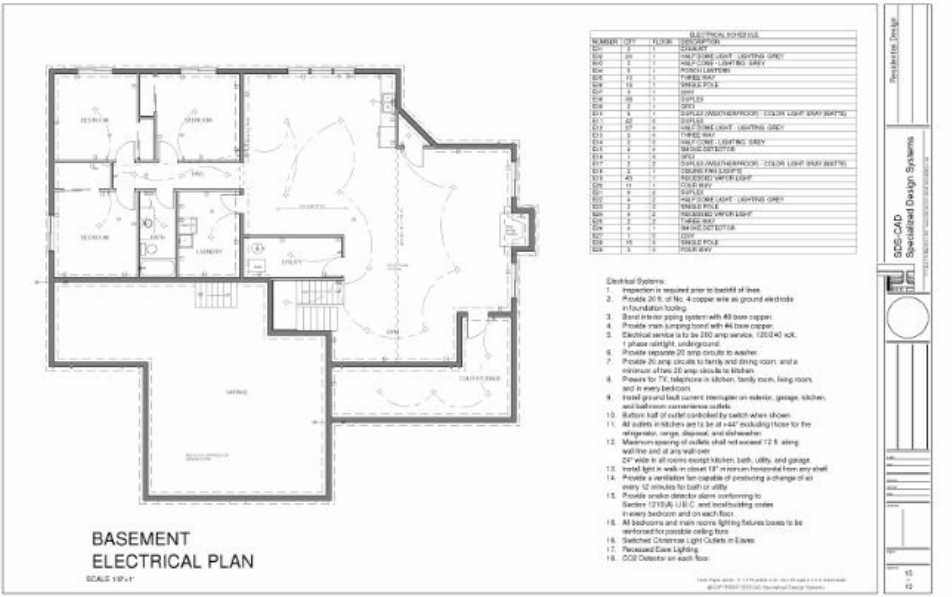
Cabinet Details and Typical Cross Section Page

The picture above is a detail that shows cabinet details and a schedule of cabinets required. There aren't full cabinet details because most homeowners want to be involved in designing the kitchen with a kitchen designer or cabinet manufacturer.

The full detail section is a cut through of the walls to show what materials are going to be used on the plans.

Main Floor Electrical Page

The picture above is a electrical specifications for the main floor as well as an electrical legend explaining the symbols used on the plans.



Basement Electrical Plans

The picture above is all of the notes and details for the basement electrical requirements as well as a schedule of all of the electrical components and all of the electrical specifications required.

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4. You may charge your clients a service fee for using the plans in your business only if you are building the structure for them or working at making changes to the plans for them.
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2. **You can not** use the graphics or plans online.
3. **You can not** sell the printed plans online
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If you would like to make money by selling our plans online please contact us and become part of our reseller program john@hplans.us

Bonus Plan

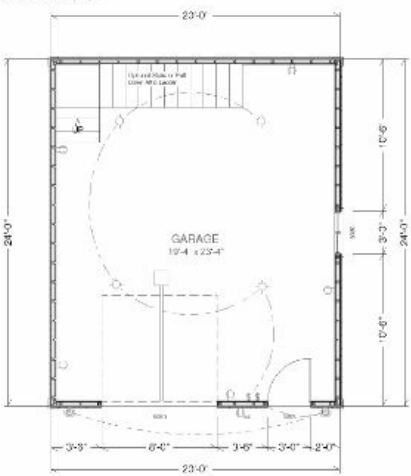
20’ x 24’ x 10’ Gambrel Barn Plans With Loft

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS BARN TO BE
BUILT AS PER IRC 2006 OR CURRENT LOCAL CODE

To the best of my knowledge these are drawn to comply w/ owner's and/or builder's specifications and any changes made on them after print are made without consent the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and report discrepancies. MRGA Inc. not liable for errors once construction has begun. While every effort has been made in the preparation of this plans to avoid mistakes, the maker can not guarantee against human error. The contractor or his job superintendent shall check all dimensions and other details prior to construction and be solely responsible for the same. All calculations and header sizing should be verified by your building or certified building school.

#g524 20 x 24 x 10 Gambrel Barn Plans
By SDS-CAD Specialized Design Systems

Use pre-dimensioned shingles and siding over sheet and sheathing. Nailing schedule is 6" on center 10" on center in field. Trusses are galvanized trusses 24" o.c. and have an pitch 4" x 4" on 10" centers. 10' ceiling height.



SCALE: 1/4"=1'

BARN MAIN FLOOR PLAN

Residential Design

SDS-CAD
Specialized Design Systems

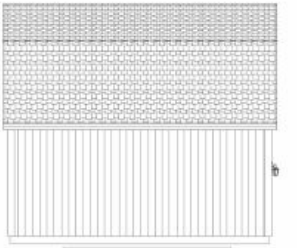
1
7

REAR ELEVATION

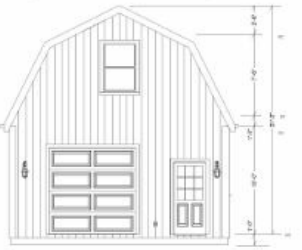
ROOF
6/12 and 3/12 PITCH
ENGINEERED MANUFACTURED
GAMBREL ATTIC TRUSS

ASPHALT SHINGLES

WALLS
9' TALL 2" X 4" WALLS
VINYL SIDING AS PER OWNER
OVER STRUCTURAL SHEATHING

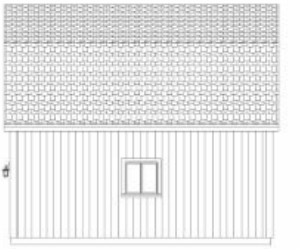


LEFT ELEVATION



SCALE
3/16"=1'

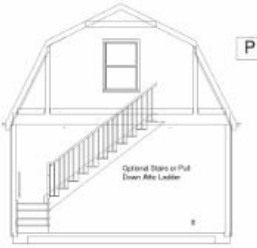
FRONT ELEVATION



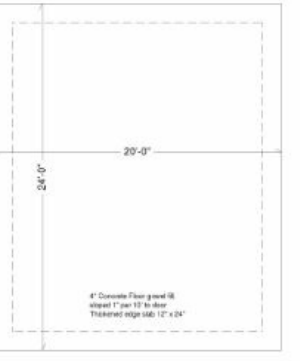
RIGHT ELEVATION

Residential Design

SDS-CAD
Specialized Design Systems



PICTORIAL VIEWS



STAIR SPECIFICATIONS

1. Stairs to be constructed with the following materials:
   2x8 kick plate anchor to concrete with expansion type anchor bolts.
   2x12 treads nosing 1 1/8" minimum, 3-2x12 stringers required.
   2x12 blocking, ½" water board risers and 2x8 ledger.
2. Handrail/Guardrails final style, material and color to be owner's choice. Design to be per code.
3. Guardrails to be 42" high minimum from floor.
4. Handrails to be 34"-38" above tread nosing.
5. Open railing to have intermediate rails or ornamental pattern such that a sphere 4" round cannot pass through.
6. Minimum stair requirements: maximum 8" rise, minimum 42" width, minimum 9" run, minimum head clearance 6'-8".
7. Preferred stair requirements: rise 7" to 7 1/2", run 11" to 12", minimum head clearance 7'-0".
8. Garage entrance stairs may be concrete or wood as per contractor/homeowner.

FOUNDATION PLAN

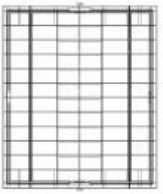
SCALE 1/4"=1'

Concrete:

1. All slabs are to be 4" concrete over 4" gravel unless otherwise noted on the plans.
2. Concrete to be ACI 301-66, Type II cement, 2500 psi at 28 days, 5" maximum slump.
3. Reinforcing to be ASTM A615-Bars with Fy=60 ksi lamp 36 diameter minimum at splices or weld per ACI Std.
4. Concrete design based on Fc 2000 psi, Fc 2000 psi for quality only.
5. Anchor bolts shall be A-307 embedded 7" minimum into concrete or masonry grout.
6. All footings minimum 24" below final grade

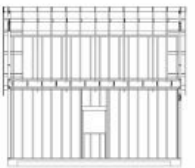
Residential Design

SDS-CAD
Specialized Design Systems



GARAGE ROOF PRE-ENGINEERED TRUSSES AS SUPPLIED BY TRUSS MANUFACTURER 24" o.c. OR OPTIONAL STICK BUILT AS DETAILED ON PAGE 7

Back Wall



10' Tall 2 x 4 Walls

Cross Section

Front Wall

WALL FRAMING SECTIONS

SCALE 1/8"=1'

General framing: (Douglas Fir)

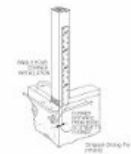
1. Minimum header sizes shall be according to the following table unless otherwise noted. Header sizes (single story construction)
   2'-0" to 4'-0" Span 2-2x6's
   4' + to 6'-0" Span 2-2x8's
   6' + to 8'-0" Span 2-2x10's
   6' + to 10'-0" Span 2-2x12's
   10' + to 12'-0" Span 2-2x12's or as noted on plan
2. Brace all exterior walls and cross stud partitions at each end of building and at least every 25' of length by one of the following.
   a. Simpson WB 128 wall bracing with 3-10d nails at each end and 1-8d nails at each stud.
   b. Plywood sheathing of a minimum thickness of 7/16 inch
3. Fire stopping:
   a. Firestock stud spaces over 10' in height, furred spaces, soffits, drop ceilings, cove ceilings, stair stringers at top and bottom of run, bearing walls and ceiling (stud lines, etc.
   Firestopping shall consist of 2" nominal lumber.
   b. Firestop openings around vents, pipes, ducts, chimneys, and fireplaces at ceiling and floor levels with approved noncombustible materials.
4. CDX plywood is not approved where exposed to weather, i.e., roof overhangs.
5. Exterior wall framing to be 2"x4" studs at 16" o.c. Interior wall, framing at non-bearing walls to be 2"x4" studs at 24" o.c. and at bearing walls 2"x4" studs at 16" o.c. with double top plate.
6. Shear wall to be 7/16" Sheathing, see detail.
7. All stress grade lumber shall comply with WCLA specs and bear approval stamp on all pieces in place.
8. Framing lumber shall be Douglas Fir construction grade Fb 1450 or better unless otherwise noted.
9. Nailing to be per current U.B.C. unless otherwise noted.
10. All bearing partitions shall have double top plates.
11. Structural glued laminated timbers to be stamped by an approved agency.
12. Use redwood or pressure treated sole plates at all exterior walls.

Roof Framing:

1. Fascia is be 2"x Douglas Fir.
2. For soffit size see details.
3. For spans and dimensions refer to floor plans.
4. Trusses are to be an approved truss design from the truss manufacturer's engineer.
5. Use Simpson H-1 hurricane anchors at each truss or rafter to wall connection.
6. Solid blocking required between joists, rafters, and trusses over all bearing walls. Such blocking shall be 1 ½" minimum thickness and full depth of joists, rafters, or trusses.
7. Minimum header sizes shall be according to the header size table unless otherwise noted.
8. Basis of design roof live/snow load of 37 psf, and roof dead load of 15 psf.
9. Plywood roof decking to be Min. ½" thick, 24/0, CDX or 5/8 water.

President's Design

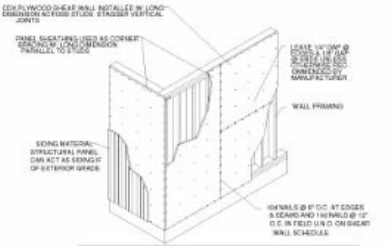
SDS-CAD Specialized Design Systems



HPAWD straps for all (ABWP) Alternate Braced Wall Panels
See additional detail for all (BWP) Braced Wall Panels

TYPICAL ALTERNATE BRACED WALL PANEL (ABWP)

NOTE: TYPICAL DETAILS FOR CONSTRUCTION TO MEET IRC 2006 REQUIREMENTS. GARAGES TO BE BUILT AS PER LOCAL CODE REQUIREMENTS



TYPICAL BRACED WALL PANEL (BWP)

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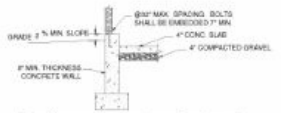
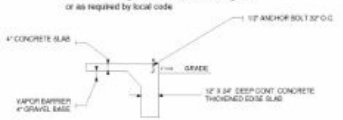
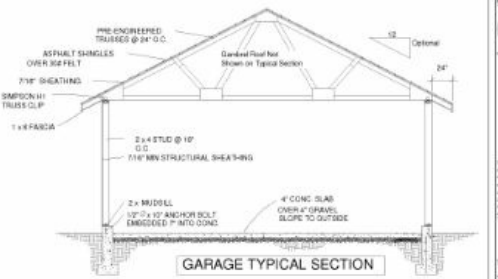


Footing and concrete wall option

Bottom of footing to be a min of 24" below grade or as required by local code

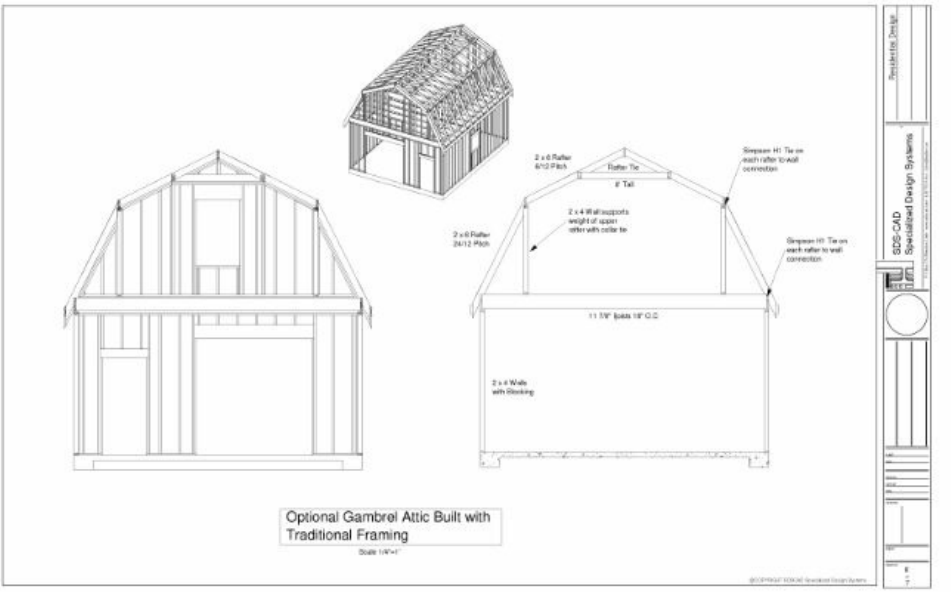


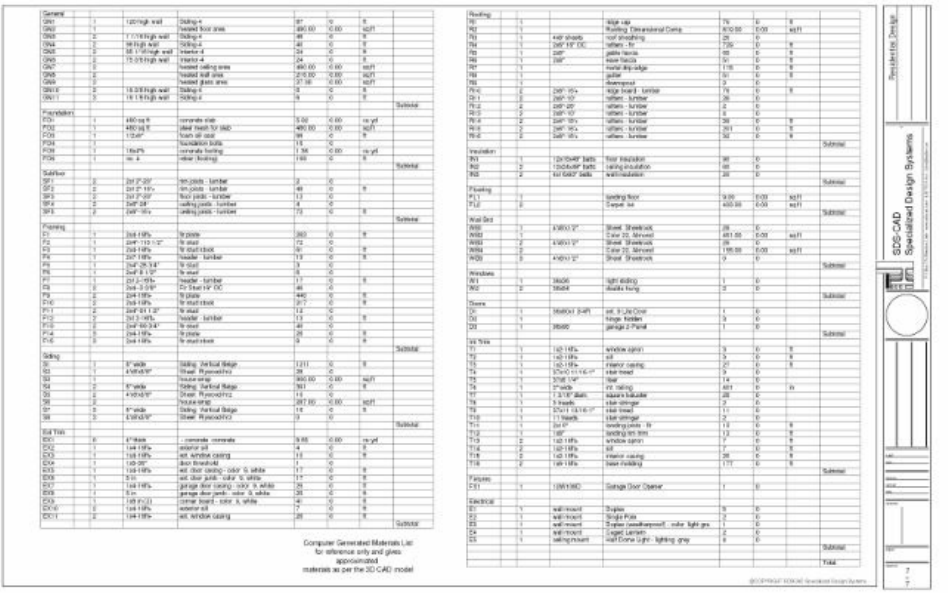
Monolithic slab foundation option



GARAGE TYPICAL SECTION

DETAILS





General							
GN1	1	120 high wall	Siding-4	87	0	ft	
GN2	1		heated floor area	480.00	0.00	sq/ft	
GN3	2	1' / 1/16 high wall	Siding-4	48	0	ft	
GN4	2	96 high wall	Siding-4	48	0	ft	
GN5	2	58' 1' / 8 high wall	Interior-4	24	0	ft	
GN6	2	75 0/8 high wall	Interior-4	24	0	ft	
GN7	2		heated ceiling area	480.00	0.00	sq/ft	
GN8	2		heated wall area	2,016.00	0.00	sq/ft	
GN9	2		heated glass area	27.00	0.00	sq/ft	
GN10	2	16 3/8 high wall	Siding-4	8	0	ft	
GN11	3	16 1/8 high wall	Siding-4	8	0	ft	
							Subtotal
Foundation							
FO1	1	480 sq ft	concrete slab	5.00	0.00	cu yd	
FO2	1	480 sq ft	dbl thick for slab	480.00	0.00	sq/ft	
FO3	1	12'x6"	footn dir cost	98	0	ft	
FO4	1		foundation bolts	15	0		
FO5	1	16x8%	concrete footing	1.56	0.00	cu yd	
FO6	1	no. 4	rebar (footing)	160	0	ft	
							Subtotal
Subfloor							
SF1	2	2x12"-20'	sm joists - lumber	2	0		
SF2	2	2x12"-16'+	sm joists - lumber	48	0	ft	
SF3	2	2x12"-20'	floor joists - lumber	12	0		
SF4	2	2x8"-24'	ceiling joists - lumber	8	0		
SF5	2	2x8"-16'+	ceiling joists - lumber	72	0	ft	
							Subtotal
Framing							
F1	1	2x4-16ft	ttr plate	263	0	ft	
F2	1	2x4"-110-1/2"	ttr stud	72	0		
F3	1	2x4-14ft	ttr stud-thick	10	0	ft	
F4	1	2x2"-16ft	header - lumber	13	0	ft	
F5	1	2x4"-26 3/4"	ttr stud	3	0		
F6	1	2x4"-8 1/2"	ttr stud	3	0		
F7	1	2x1-1-16ft	header - lumber	17	0	ft	
F8	3	2x4-3 0/4"	Ctr Stud 16" OC	48	0		
F9	3	2x4-16ft	ttr plate	440	0	ft	
F10	2	2x4-14ft	ttr stud-thick	21	0	ft	
F11	2	2x4"-91 1/2"	ttr stud	12	0		
F12	2	2x1 3-14ft	header - lumber	13	0	ft	
F13	2	2x4"-90-3/4"	ttr stud	40	0		
F14	3	2x4-14ft	ttr plate	28	0	ft	
F15	3	2x4-14ft	ttr stud-thick	9	0	ft	
							Subtotal
Siding							
S1	1	8" wide	Siding: Vertical Beige	1211	0	ft	
S2	1	4'x8'x3/8"	Sheet Plywood/hz	28	0		
S3	1		house wrap	800.00	0.00	sq/ft	
S4	2	8" wide	Siding: Vertical Beige	163	0	ft	
S5	2	4'x8'x3/8"	Sheet Plywood/hz	14	0		
S6	2		house wrap	267.00	0.00	sq/ft	
S7	3	8" wide	Siding: Vertical Beige	18	0	ft	
S8	3	4'x8'x3/8"	Sheet Plywood/hz	3	0		
							Subtotal
Ext Trim							
EX1	6	4" thick	concrete: concrete	9.00	0.00	cu yd	
EX2	1	1x4-14ft	exterior sill	4	0	ft	
EX3	1	1x8-14ft	sill, window casing	13	0	ft	
EX4	1	1x6-20'	door threshold	1	0		
EX5	1	1x4-14ft	sill, door casing - color: S. white	17	0	ft	
EX6	1	5 in	sill door jamb - color: S. white	17	0	ft	
EX7	1	1x4-14ft	garage door casing - color: S. white	25	0	ft	
EX8	1	5 in	garage door jamb - color: S. white	35	0	ft	
EX9	1	1x6 (1x12)	corner board - color: S. white	4	0	ft	
EX10	2	1x4-14ft	exterior sill	7	0	ft	
EX11	2	1x4-14ft	sill, window casing	25	0	ft	
							Subtotal

Computer Generated Materials List
for reference only and gives
approximated
materials as per the 3D CAD model

Roofing							
R1	1		ridge cap	75	0	ft	
R2	1		Roofing: Dimensional Comp	810.00	0.00	sq/ft	
R3	1	4'x8' sheets	roof sheathing	25	0		
R4	1	2x6"-19' OC	rafters - ftr	720	0	ft	
R5	1	2x8"	gable fascia	65	0	ft	
R6	1	2x8"	eave fascia	91	0	ft	
R7	1		metal drip edge	116	0	ft	
R8	1		gutter	91	0	ft	
R9	1		downspout	3	0		
R10	2	2x8"-16+	ridge board - lumber	76	0	ft	
R11	2	2x6"-10'	rafters - lumber	36	0		
R12	2	2x6"-20'	rafters - lumber	2	0		
R13	2	2x6"-10'	rafters - lumber	4	0		
R14	2	2x6"-16+	rafters - lumber	36	0	ft	
R15	2	2x6"-16+	rafters - lumber	201	0	ft	
R16	2	2x6"-16+	rafters - lumber	32	0	ft	
							Subtotal
Insulation							
IN1	1	12x20x6" batts	floor insulation	36	0		
IN2	2	12x20x6" batts	ceiling insulation	48	0		
IN3	2	6x1 6x6" batts	wall insulation	24	0		
							Subtotal
Flooring							
FL1	1		sealing floor	9.00	0.00	sq/ft	
FL2	2		Super tar	400.00	0.00	sq/ft	
							Subtotal
Wall Bd							
WB1	1	4'x8'x1/2"	Sheet: Sheetrock	28	0		
WB2	1		Color 22: Mirrored	481.00	0.00	sq/ft	
WB3	2	4'x8'x1/2"	Sheet: Sheetrock	28	0		
WB4	2		Color 22: Mirrored	196.00	0.00	sq/ft	
WB5	3	4'x8'x1/2"	Sheet: Sheetrock	9	0		
							Subtotal
Windows							
W1	1	36x36	light sliding	1	0		
W2	2	36x54	double hung	3	0		
							Subtotal
Doors							
D1	1	36x80x1 3/4"	ext. 3 Lite Door	1	0		
D2	1		hinge fodder	3	0		
D3	1	36x80	garage 2 Panel	1	0		
							Subtotal
Int Trim							
T1	1	1x3-14ft	window apron	3	0	ft	
T2	1	1x3-14ft	sill	3	0	ft	
T3	1	1x3-14ft	interior casing	21	0	ft	
T4	1	3/4x3 11/16-1"	door head	3	0		
T5	1	3/4x6 1/4"	door	14	0		
T6	1	3"wide	int. railing	481	0	ft	
T7	1	1 3/16" diam.	square baluster	28	0		
T8	1	3 foot	door stringer	2	0		
T9	1	3/4x11 13/16-1"	stair tread	11	0		
T10	1	11 treads	stair stringer	2	0		
T11	1	2x4 6"	landing joists - ftr	13	0	ft	
T12	1	1x6"	landing int. trim	13	0	ft	
T13	2	1x3-14ft	window apron	7	0	ft	
T14	2	1x3-14ft	sill	7	0	ft	
T15	2	1x3-14ft	interior casing	25	0	ft	
T16	2	1x4-14ft	base molding	177	0	ft	
							Subtotal
Misc							
C31	1	1/2x1/2x2	Garage Door Opener	1	0		
Electrical							
E1	1	wall mount	Duplex	5	0		
E2	1	wall mount	Single Pole	3	0		
E3	1	wall mount	Duplex (weatherproof) - color: light gra	1	0		
E4	1	wall mount	Legal Lamp	2	0		
E5	1	ceiling mount	wall Dome Light - lighting: gray	6	0		
							Subtotal
							Total

Links to Download PDF Version of Plans For Printing

g524 20 X 24 X 10 Gambrel Garage Barn Plans PDF

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Sample Forms you may need in your area for building a garage.

You will need to go to your local building department to determine the actual forms that they require to apply for a building department.

Name of Owner/Builder: Address:

City: State: Zip:

LOCATION OF CONSTRUCTION SITE

Address: City: State: Zip:

Subdivision Name:

CERTIFICATION

I, _____, certify under penalty that the following statements are true and correct and are based upon my understanding of the Utah Construction Trades Licensing Act:

1. I am sole owner of the property and construction project at the above described location;

2. The improvements being placed on the property are intended to be used and will be used for my personal, noncommercial, non public use;

3. I understand that work performed on the project, if it is the type of work which is regulated under the Construction Trades License Act, and Rules of the Contractor's Licensing Board, must be

performed by the following:

a. myself as the sole owner property; or b. a licensed contractor; or c. my employee(s) on whom I have worker's compensation insurance coverage, on whom I withhold and pay all required payroll taxes, and with respect to whom I comply with all other applicable employee/employer laws; or d. any other person working under my supervision as owner/builder to whom no compensation is paid; and

4. I understand that if I retain the services of an unlicensed contractor or compensate an unlicensed person, other than as an employee for wages, to perform construction services for which licensure is required, I may be guilty of a class A misdemeanor and may be additionally subject to an administrative fine in the maximum of $2,000 for each day on which I violate the law.

Dated this _____day of _____ 20_____

_____

Signature of owner/builder Subscribed and sworn before me this _____ day of _____20___, in the County of _____,

State of _____.

_____ My commission expires: _____

SHED / DETACHED

GARAGE

GUIDE

This handout has been created to serve as an information tool to individuals wishing to erect a shed or a detached garage accessory to a single family dwelling. This is intended only as a guide for plan submittal and as an aid to the minimum information needed to submit for an application for a building permit. This is by no means all-inclusive, and additional information may be needed in order for the Building Department to process your building permit application. Please take a moment to ensure the items listed below are included in your submittal package. Failure to submit all the information requested may result in delays in processing your permit application.

Detached structures for uses other than sheds require permits regardless of size. Sheds < 200 square feet do not require a building permit. Utilities, such as electricity, will require a permit for the applicable use. Depending upon the size of the shed, specific setback and height requirements must be met per the Land Development Code 17:15. All accessory structures (i.e.

sheds) must be 10 feet behind the deepest portion of the front plane of the house.

Sheds that are < 120 square feet and < 10 feet in total height:

1. Can be 1 foot from the side and rear property line, but the structure must be removable.

2. The shed must be at least 6 feet from the house.

3. If the rear yard is adjacent to a street, the shed must be a minimum of 10 feet away from the rear property line.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

Sheds that are < 120 square feet and > than 10 feet in height:

1. Must meet the standard setbacks of 8 feet from the side property line and 10 feet from the rear property line.

2. The shed must be at least 6 feet from the house.

3. The maximum height for an accessory structure is 15 feet measured at mid-gable.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

Sheds > 120 square feet and < 200 square feet:

1. Must meet the standard setbacks of 8 feet from the side property line and 10 feet from the rear property line.

2. The shed must be at least 6 feet from the house.

3. The maximum height for an accessory structure is 15 feet measured at mid-gable.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

The following items must be included in your permit application submittal:

Residential Permit Application

1. Completed building permit application with contact phone numbers and contractor license numbers if applicable. The

application must be completely filled out.

2. Proof of ownership. This may be obtained at the Cache County Recorder's office located at 179 N Main.

Site and plat plans

1. 1 copy of plat map. This may be obtained at the Cache County Recorder's office located at 179 North Main.

2. Copies of the building site plan (plot plan).

3. The site plans must show all property lines, all easements and right-of-ways, setbacks, all existing structures and proposed structures. Measurements must be provided. Construction documents/plans (sample plans are attached):

1. Show footings and foundations. Specify size, depth, width, and steel placement/spacing. Show locations of hold-down straps.

2. Floor plan and layout with dimensions. Show doors, windows, foundations straps, bracing details, etc.

3. Show electrical breaker panels, outlets, lights switches, etc.

4. Specify framing materials, roof framing details, and anchoring methods.

5. Submit engineering if required by code.

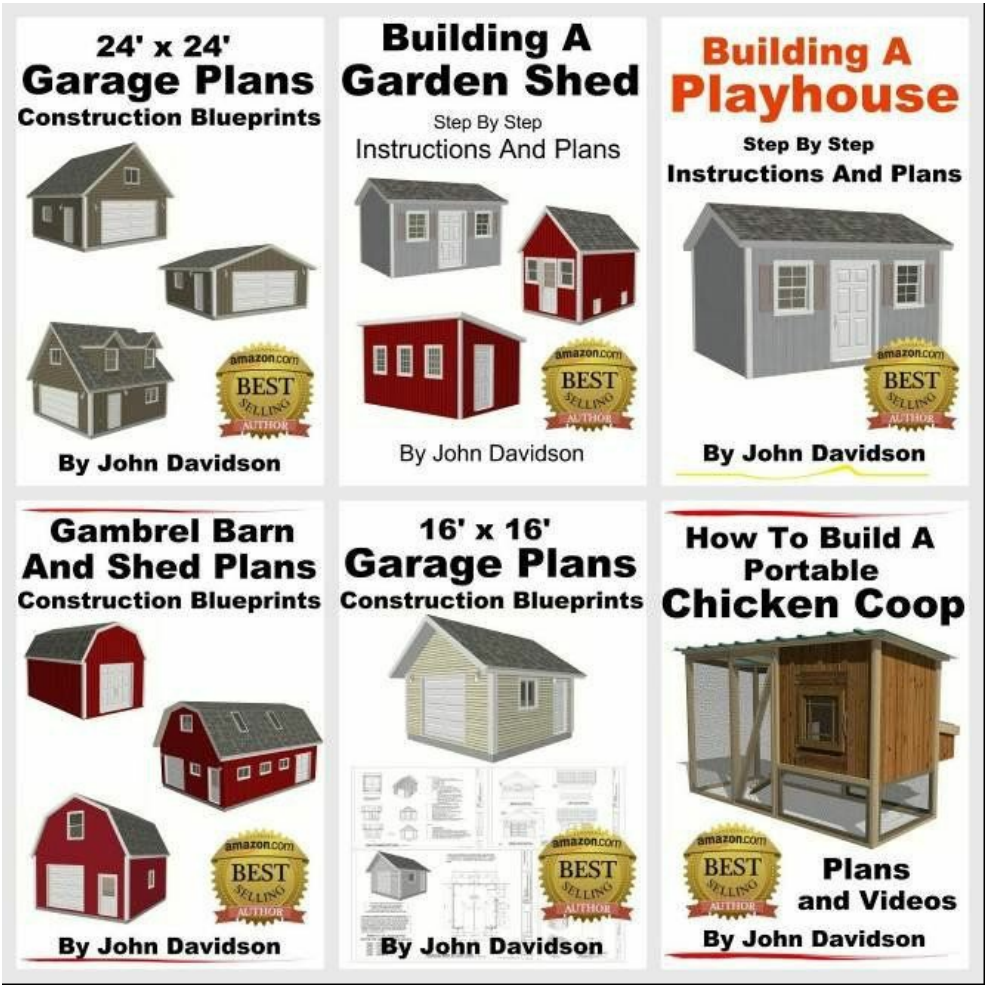
6. Show any heating or plumbing.

7. Show cross sections and elevations.

Please note that plans cannot be accepted for

review without the information listed above.

Incomplete submittals cannot be accepted.



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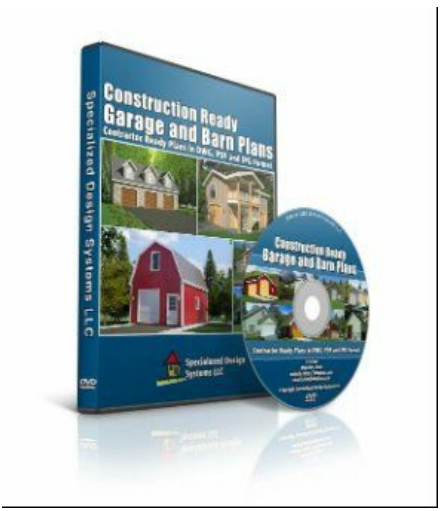

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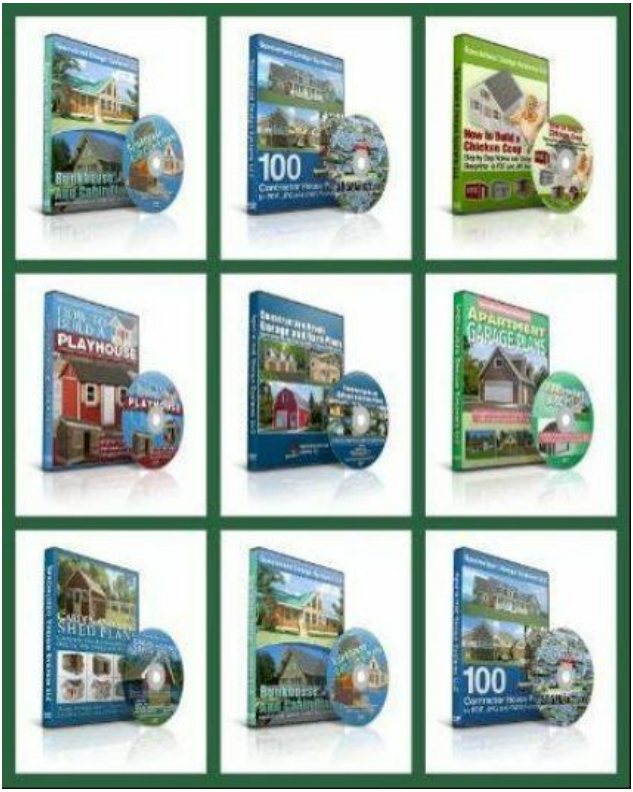

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