

50 Contractor Garage Plans

Construction Blueprints



**Sheds, Barns
Garages
Apartment Garages
John Davidson**

100 Contractor Garage Plans

Construction Blueprints

Sheds, Barns, Garages, Apartment Garages

By John Davidson

Kindle Edition

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50 Contractor Garage Plans

Construction Blueprints



**Sheds, Barns
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Apartment Garages**
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About the Author

John Davidson

John has been drawing homes barns and garages since 1984. He has drawn over 500 homes and over 1000 garages and barns. John started a family drafting business called Specialized Design Systems (SDSPlans).

On the website <http://housecabin.com> there are over 100 full house and cabin plans available for easy download for as low as \$1 each. John has been selling affordable digital plans online for over 10 years.

Other plans have also been part of the development of this online business. Over 100 websites market these plans on the Internet. Low cost plans that you can download instantly.

<http://pdfgarages.com> is loaded with digital garage plans specials

<http://pdfbarns.com> has a wide variety of barn plans

<http://thegardenshed.net> has garden shed plans

<http://plansforplayhouse.com> is for playhouse plans

<http://build-chicken-coop.com> has chicken coop plans

<http://bunkhouseplans.com> is loaded with bunkhouse and cabin plans

Check out more of the plans at the main company website <http://sdspans.com>

Specialized Designs Systems LLC, Mendon, Utah

DISCLAIMER

READ BEFORE YOU BEGIN! THESE PLANS ARE INTENDED AS A GUIDE ONLY!

READ THESE INSTRUCTIONS COMPLETELY THROUGH ONCE AND UNDERSTAND WHAT IS REQUIRED.

We will not be held responsible for any accidents or injuries anyone may sustain. Builder assumes all risks associated with construction work!

We assume some builder competency in the use of tools, safety and equipment.

Work safely and wear proper safety equipment such as gloves, ear protection and eye protection.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SDSCAD is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. All calculations and member sizing should be verified for your building by a certified building official.

Please Note

Please note, this book is not a step by step book for construction but the actual plans that can be used to apply for permits. Plans in the kindle book are low resolution

because of limits to the kindle format but links to download and print high resolution to scale blueprints in PDF format are available in the book. Engineering may be required on plans to be built in different locations.

About this book

This book is meant to be a catalog of garage plans offered by <http://sdsplans.com> . This is a set of spec pages for 50 Contractor Garage Plans. The kindle format is not the highest resolution method to view these spec pages but gives you an idea of the garage plan layouts for each of the plans. All of these plans have been drawn and built. All 50 plans are available to buy for less than \$1 each on a DVD in both High resolution PDF and CAD DWG files for easy editing of the plans. Go to <http://pdfgarages.com> to download the high resolution catalog or purchase all of these plans in one DVD or purchase plans individually.

Download higher resolution pictures at <http://www.9plans.com/over-100-garage-and-barn-plans-in-pdf-jpg-and-dwg/>

Download sample garage plan here

<http://www.sdscad.com/pdf/garagesample.pdf>

Download high resolution house plan catalog here <http://sdsplans.com/100houseplans.pdf>

Download full sample house plan <http://www.sdsplans.com/wp-content/uploads/2012/04/H267-BJ-Custom-Spec-Sample.pdf>

50 Contractor Garage Plans Spec Sheets and Renderings

The image is a screenshot of a CAD software interface. On the left, there is a 3D perspective view of a single-story house with a dark brown exterior, a grey roof, and a two-car garage. In the center, there is a detailed floor plan labeled 'GARAGE MAIN FLOOR PLAN'. The plan shows a garage section with two doors, a central entrance, and a circular driveway area. Dimensions are provided for the garage bays (10'0" and 12'0"), the entrance (7'0"), and the driveway (12'0" and 18'0"). On the right, there is a 3D perspective view of a garage main floor plan, showing a single-car garage bay (12'0"), a central entrance (7'0"), and a circular driveway area (12'0" and 18'0"). The software interface includes various toolbars and a vertical stack of tabs on the right side.

The image displays a set of architectural drawings for a house, including:

- REAR ELEVATION:** Shows a gabled roof with vertical siding.
- LEFT ELEVATION:** Shows a gabled roof with vertical siding and a small window.
- FRONT ELEVATION:** Shows a gabled roof with vertical siding, a central entrance with a double door, and two side doors. A note indicates "WALLS TO BE SHOWN AFTER FRAMING".
- RIGHT ELEVATION:** Shows a gabled roof with vertical siding and two windows.
- STORAGE ATTIC PLAN:** Shows a plan for a storage area with dimensions 10'0" x 12'0".
- FOUNDATION PLAN:** Shows a plan for a foundation with dimensions 10'0" x 12'0".
- WALL FRAMING SECTIONS:** Shows sections A-A, B-B, and C-C, detailing wall framing, insulation, and vapor barriers.

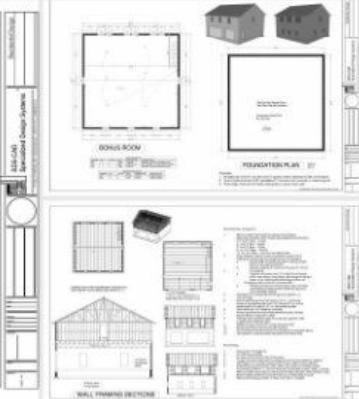
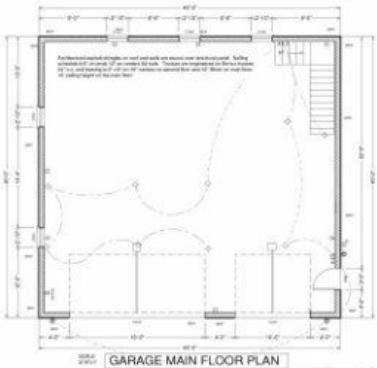


"With the help of the controller, the driver can easily switch between different driving modes and can also switch to a different mode while driving in the memory mode," says Sudhir Chandra, head of engineering, Bajaj Auto. The controller chip itself is programmed to switch between driving modes. "Software is not enough for the human-machine interface to be effective. When every effort has been made to make the interface of this side as user-friendly, the driver must be able to understand the application at a glance. The controller of the joystick must be continuously used and often dedicated to a specific function, which should be logically mapped to the user," he adds. The joystick, which is a small rectangular device mounted for easy accessibility, is used for steering, accelerating, and braking.

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPEC'S, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. DAMAGE TO BE
PAID FOR PER THE LBO, OR CURRENT LOCAL CODE.

#G482 Plans, 40' x 40' x 10'
detached garage with bonus room
By SDS-CAD Specialized Design
Structures

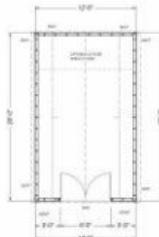
Page 1	File Main Page
Page 2	Download Assets
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Page 4	Planning and Outcomes
Page 5	Default Page
Page 6	Block Details
Page 7	Admin Site Log



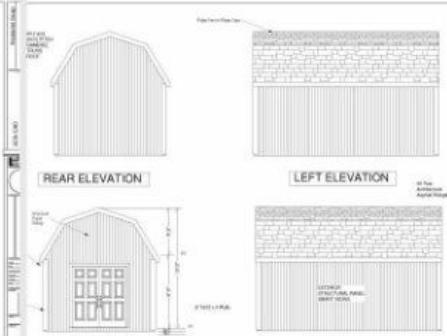


WILLING TO SELL PROPERTY OWNED
TO PERSONS VERIFY ALL INFORMATION,
SHE/HE AND COMPANY ARE TO OBTAIN
CERTIFIED TAX STATEMENT AND PAY ALL THE
FEDERAL TAX REQUIREMENTS.

MEG44 12" x 20" x 6" Gembrel Sheet
By SGS-CAG, Specialized Gembrel Systems

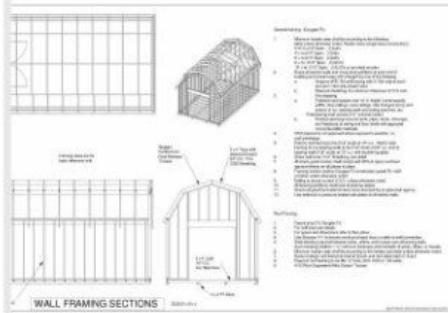


BARN MAIN FLOOR PLAN



FRONT ELEVATION

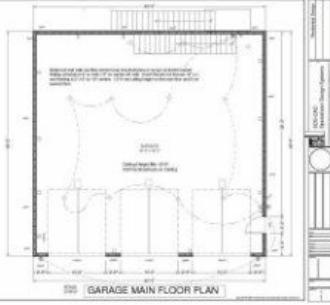
BIGHT ELEVATION





By: BSB-CAD Software Design
K0611 Plans, 40' x 40' x 12'
Gambrel Barn with Apartment
By BSB-CAD Software Design

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SECOND FLOOR PLAN

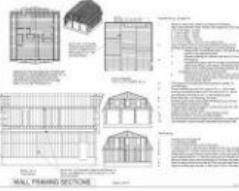
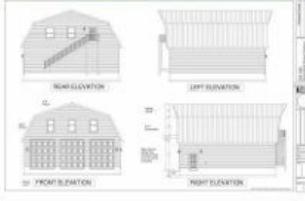
Dimensions are in feet. 1' = 12 inches. 1/4" = 1'-0".
1. Windows are to be 3' wide x 6' high unless otherwise noted on the plan.
2. Anchors for side walls 6'-0" apart and 6'-0" from the end walls into concrete or masonry piers.
3. Allowance minimum 24" below final grade or as per local code.



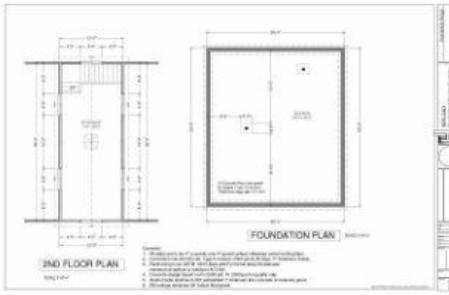
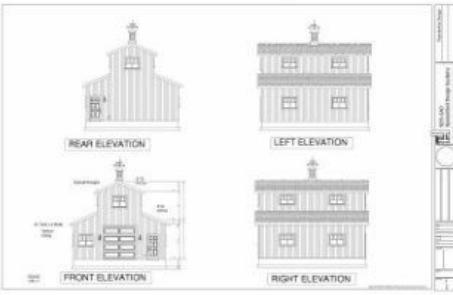
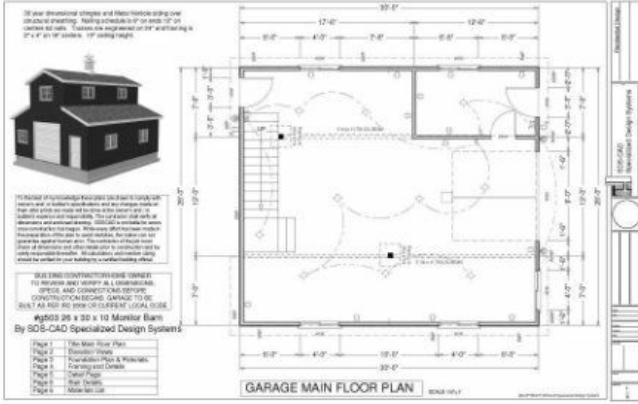
FOUNDATION PLAN

Dimensions are in feet. 1' = 12 inches. 1/4" = 1'-0".
1. Block and concrete footer. See foundation details.
2. Concrete Driveway. See foundation details.

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WALL FRAMING SECTION



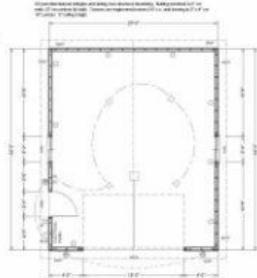


DESIGNER PLANS FOR YOUR GARAGE
TO BUILD AND ENJOY ALL YOURSELF,
WITH A DESIGNER'S EYE FOR
FUNCTION AND BEAUTY.

DESIGNER PLANS FOR YOUR GARAGE
TO BUILD AND ENJOY ALL YOURSELF,
WITH A DESIGNER'S EYE FOR
FUNCTION AND BEAUTY.

Agile! 20 x 16 x 8 Garage Plans
By SDS-CAD Specified Design Systems

Plans:
Floor Plan
Front Elevation
Side Elevation
Back Elevation
Foundation Plan
Pictorial Views



GARAGE MAIN FLOOR PLAN



REAR ELEVATION



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

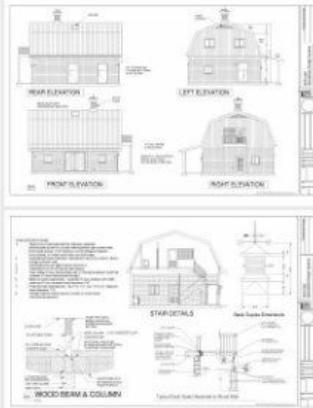


WALL FRAMING SECTIONS



FOUNDATION PLAN

PICTORIAL VIEWS



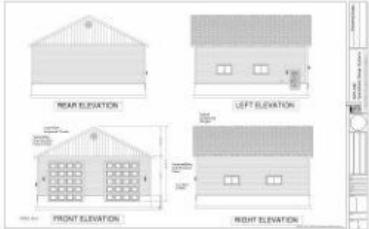


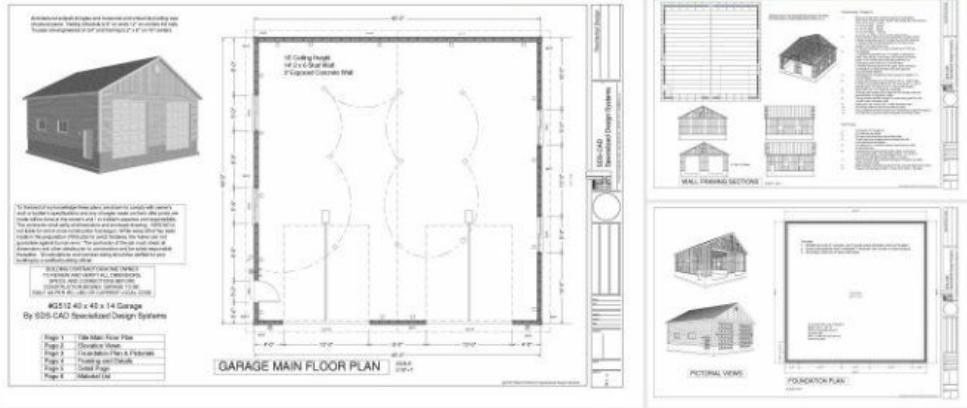
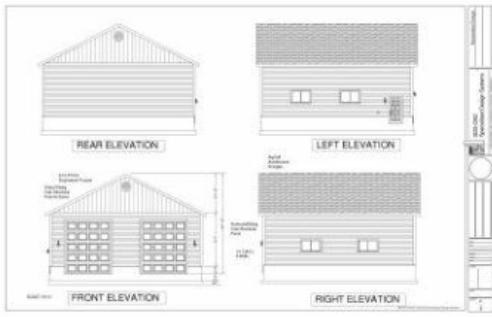
Autumnal leaf colour was measured on a 100 mm scale, 0 = no colour, 100 = maximum. Testing sub-samples of 25 seeds, 25 mm under natural field conditions, using a digital camera (Nikon Coolpix 4500) and image analysis software.

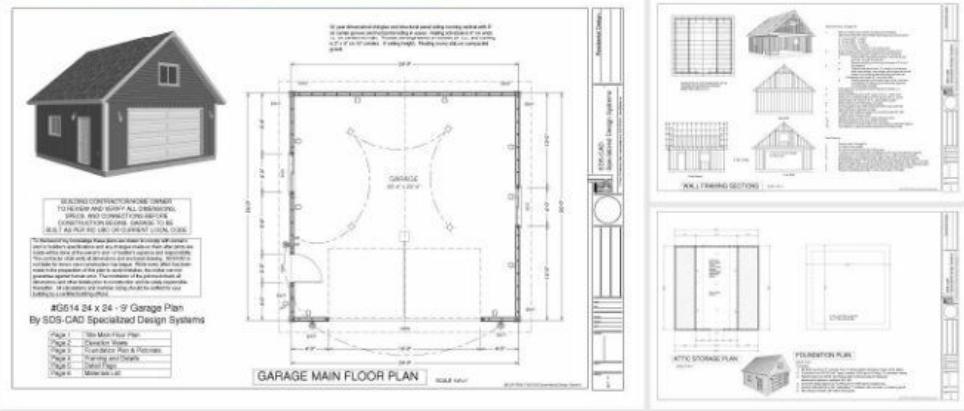
It's the best time to start planning for your future. Call us today for a free consultation. We'll help you understand your options and make the right choices for your family's financial future.

409512-401x43x14-Dangle

REFERENCES





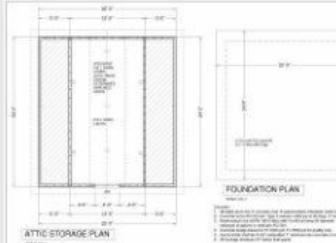




WARRANTY COVERAGE EXCLUDES DAMAGE TO REARVIEW AND SUNNY SIDE WINDSHIELDS, SPACES, AND CONNECTIONS BEFORE CONVERSION BEING CHARGE TO BE BUILT AS PER PRE-LEED OR CURRENT LOCAL CODES.

#G526 22' x 24' - 2 Car Garage Plan With Loft
By EDI-CAD Specialized Design Systems

2001	Midwest 2000 Plan
2002	Creation, Vision
2003	Participation Plan & Materials
2004	Planning and Events
2005	Public Image
2006	Midwest 1.0





2013-2014 SURFACE PAVING CONTRACT
TO 40 PARISHES AND VARIOUS TERRITORIES
SPEC. AND CONDITIONS BEFORE
CONSTRUCTION BEGINS. GARAGE TO BE
READY BY FEB. 15, 2014. CONFIRMATION LETTER
DECEMBER 11, 2013.

"National" is the term used to describe the 100,000+ members of the National Council of the American Revolution, a non-political, non-partisan, non-sectarian organization of men and women who are interested in the history and government of the United States.

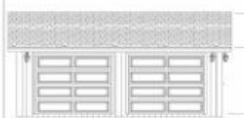
#G628 24' x 22' - 8' Garage Plan
By SDS-CAD Specialized Design Systems

These observations suggest that the primary mechanism underlying the effects of anabolic steroids on bone is through an increase in osteoclast number. These findings are in contrast to those of a recent study using a rat model of osteoporosis, which found that the number of osteoclasts decreased in response to anabolic steroid treatment.



REAR ELEVATION

LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



政治類



Address: 1000 19th Street, Suite 1000, Denver, CO 80202
Phone: (303) 296-6111 Fax: (303) 296-6112 E-mail: info@colorado.org



ANSWER



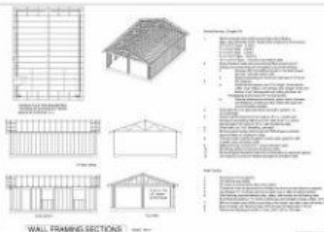
ANSWER: **100**

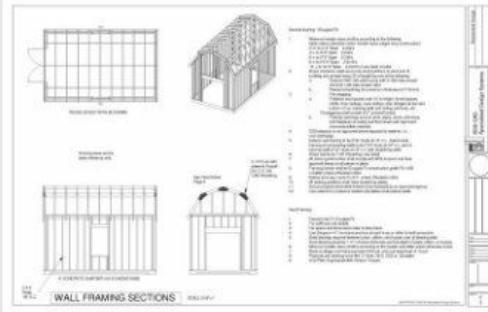


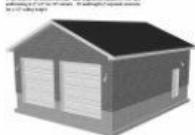


BUILDING 2000 RADAR SYSTEM
TO INTEGRATE AND VERTIFLY THE
RADAR AND CONNECTIONS BEFORE
DEPLOYMENT BEGINS. DUE TO THE
SUITABILITY OF THE EQUIPMENT LOCAL, 2000

8G529 22' x 30' - 2 Car Garage Plan
By SOS-CAD Specialized Design Systems







BUILDING INSPECTION CHART
TO REVIEW AND VERIFY ALL CONSTRUCTION
SPRINGS AND CONNECTIONS EXISTING
CONSTRUCTION BEGUN SINCE 1948
BUT NO PULL-UP, ISO OR CURRENT LOADS, USE

#G531 Garage 28 X 34 X 12'
By SOS-CAD Specialized Design Systems

Page 1	Site Map / Post Office
Page 2	Education Home
Page 3	Foundation Plan & Policies
Page 4	History and Timeline
Page 5	Home Page
Page 6	Archives

GARAGE MAIN FLOOR PLAN

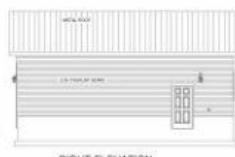


REAR ELEVATION

LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

1



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FOUNDATION PLANS



ANSWER

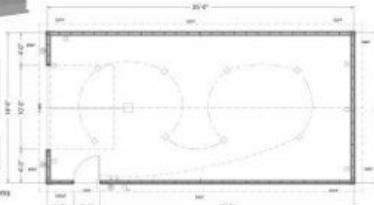
Volume 20 Number 1
January 2008

WALL TRAINING SECTION





3D perspective images of Model 18x30 and two perspective views showing a double door, a single door, and a window.



Technical drawings for this plan are shown in the following pages. The following pages also include:
• Detailed instructions for building the garage.
• Detailed instructions for building the foundation.
• Detailed instructions for building the roof.
• Detailed instructions for building the exterior walls.
• Detailed instructions for building the interior walls.
• Detailed instructions for building the garage door.

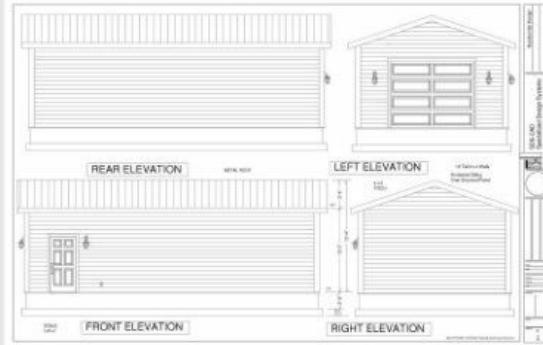
Ag533 18 x 30 x 10 Garage Plans
By SGD-GAD Specialized Design Systems

Page 1: 18x30 Main Floor Plan
Page 2: Foundation Plans
Page 3: Foundation & Footings
Page 4: Foundation & Footings
Page 5: Detailed Plans
Page 6: Material List

GARAGE MAIN FLOOR PLAN



WALL FRAMING SECTION



REAR ELEVATION

MATERIALS

LEFT ELEVATION

MATERIALS

FRONT ELEVATION

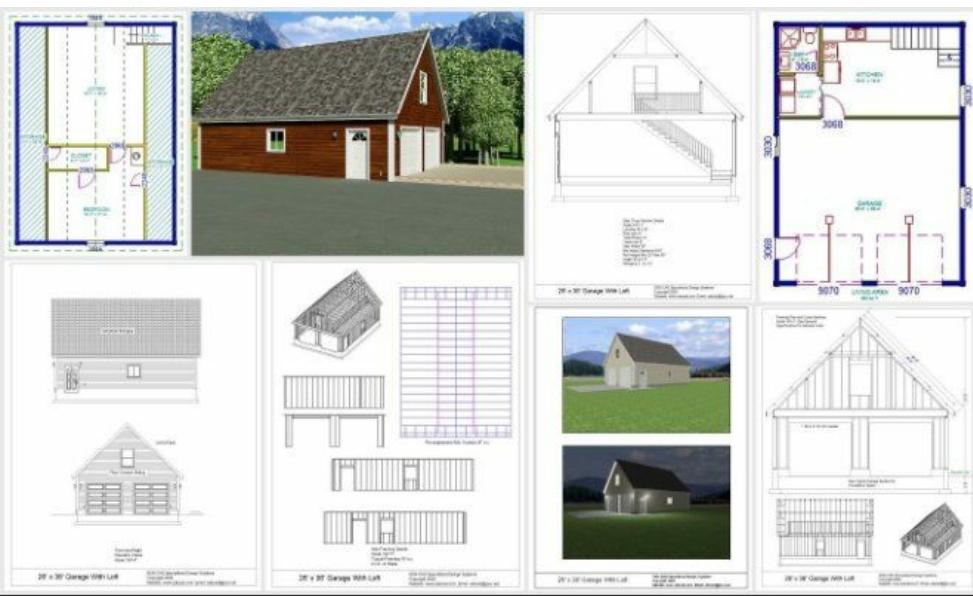
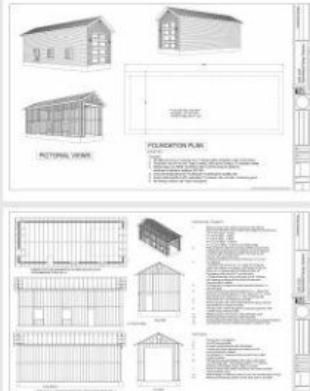
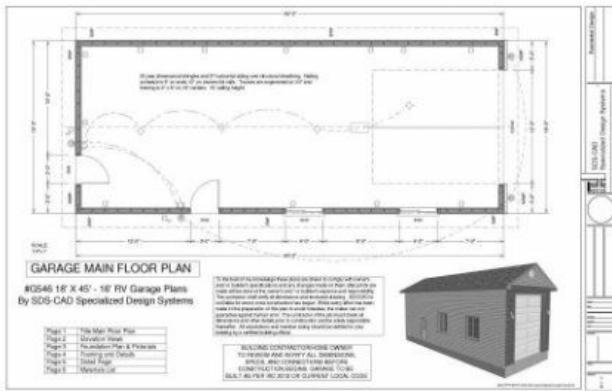
MATERIALS

RIGHT ELEVATION



FOUNDATION PLAN

PICTORIALS





20 year dimensional shingles and 17" GAF wood shingles with roll 700. Date: September 2018. It's not only 17' wide for extra width. It's designed at 20' and 10' height for a 2' x 10' overhang. It's designed



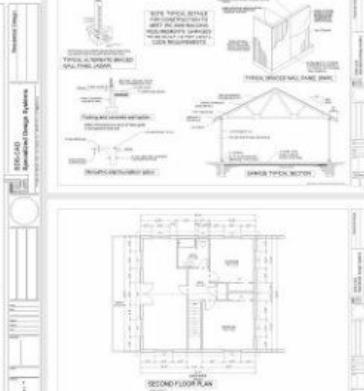
Page 1 Title Multi Plan Page
Page 2 Elevation View
Page 3 Foundation Plan Page
Page 4 Foundation Plan & Pictures
Page 5 Foundation & Details
Page 6 Details Page

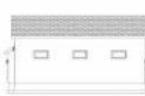
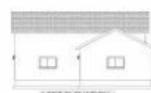
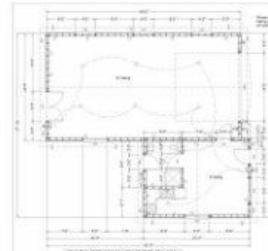
In the event of a fire, this garage plan should not be used to build, and should not be used as a guide for any other use. It is the responsibility of the user to verify all dimensions and details are correct and suitable for your intended use. SDS-CAD is not responsible for any errors or omissions in this plan. SDS-CAD is not responsible for any damages or injuries resulting from the use of this plan. It is the responsibility of the user to verify all dimensions and details are correct and suitable for your intended use. SDS-CAD is not responsible for any errors or omissions in this plan. SDS-CAD is not responsible for any damages or injuries resulting from the use of this plan. It is the responsibility of the user to verify all dimensions and details are correct and suitable for your intended use. SDS-CAD is not responsible for any errors or omissions in this plan. SDS-CAD is not responsible for any damages or injuries resulting from the use of this plan.

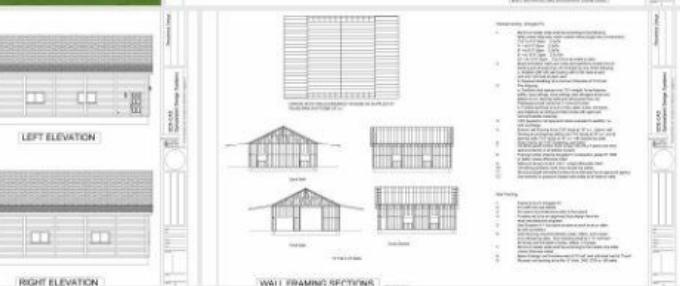
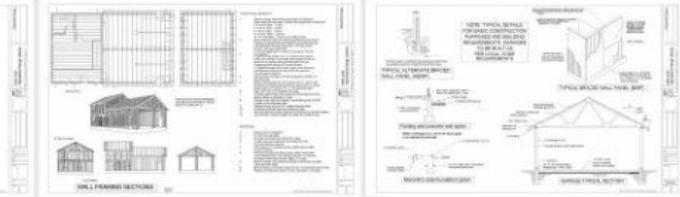
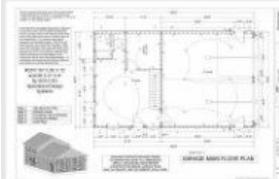
Custom 32 x 40 - 12' Two Story Garage Plan
Plan #G318
By SDS-CAD Specialized Design Systems



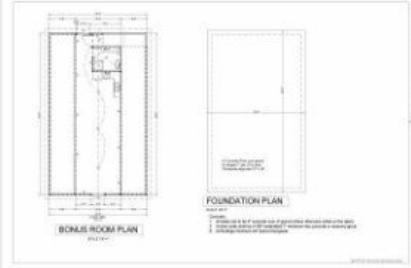
GARAGE MAIN FLOOR PLAN

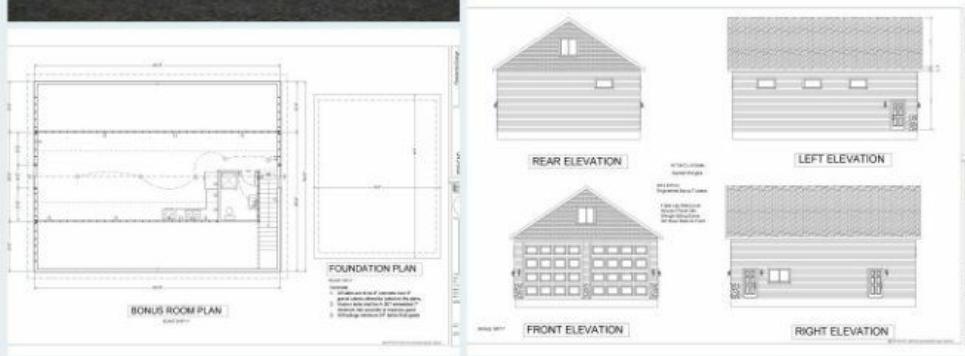
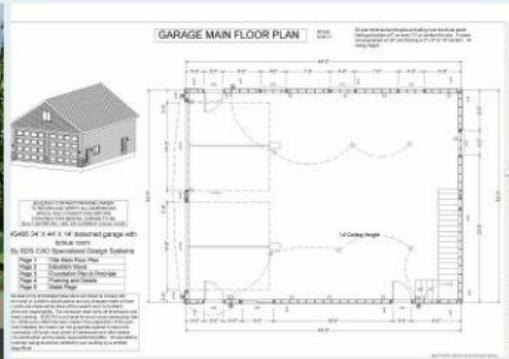


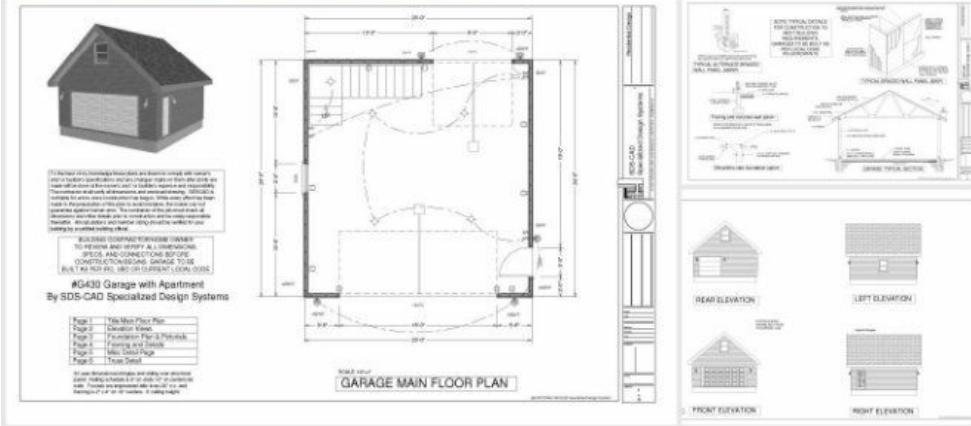
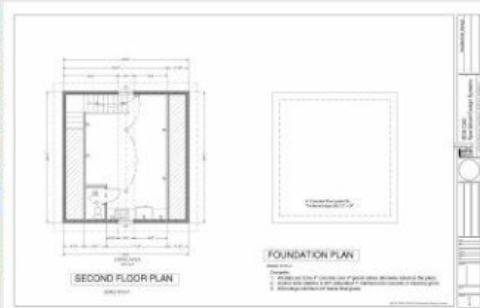


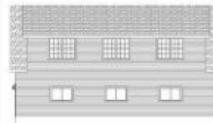








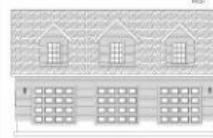




REAR ELEVATION



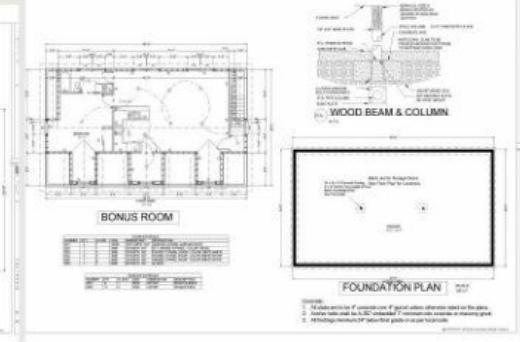
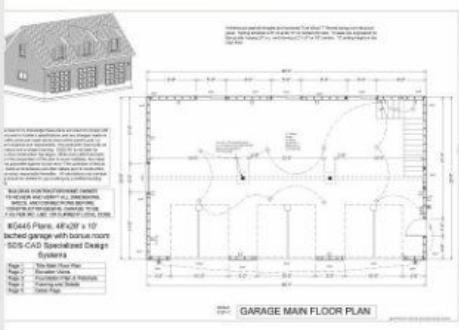
LEFT ELEVATION

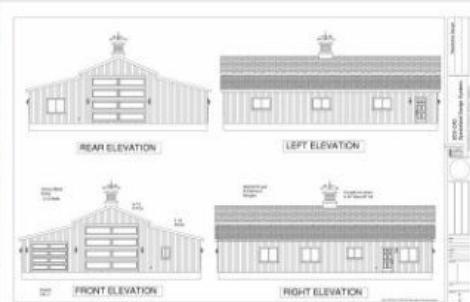


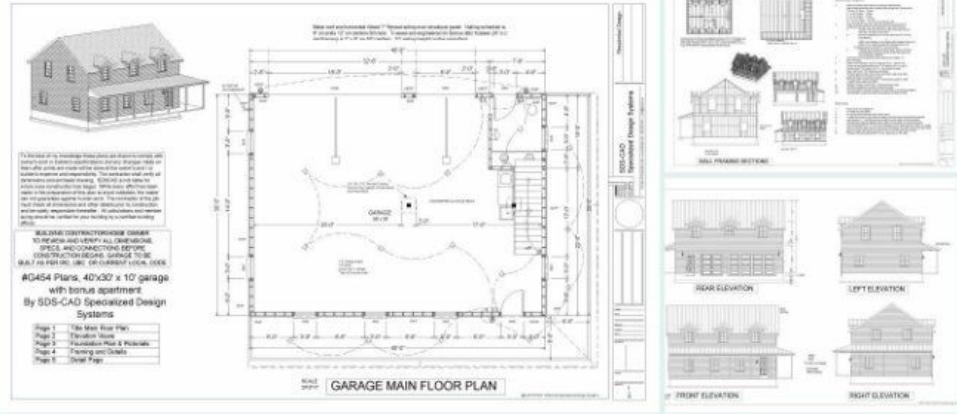
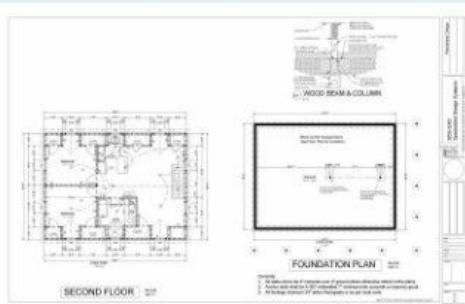
FRONT ELEVATION



RIGHT ELEVATION









To the best of my knowledge the plans and drawings in this document are correct. It is the responsibility of the contractor to verify the plans and drawings for any errors or omissions and to make the necessary changes to the plans and drawings to correct any errors or omissions. Any errors or omissions shall not be deemed to be a waiver of any provision against the contractor. The contractor is advised to consult with a licensed architect or engineer before proceeding with any construction work.

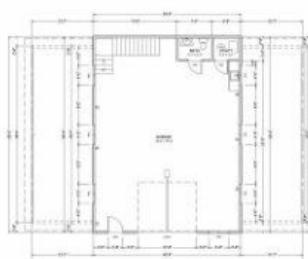
BUILDING CONTRACTOR/HOME OWNER
 TO THE BEST OF MY KNOWLEDGE THE PLANS AND DRAWINGS IN THIS DOCUMENT ARE CORRECT.
 SPECIFIC AND DETAILED CONSTRUCTIONS ARE LEFT TO THE CONTRACTOR.
 BUILT IN ACCORDANCE WITH THE CURRENT LOCAL CODE.

#B#60 25 x 40 x 10 workshop
 By SDS-CAD Specialized Design
 System

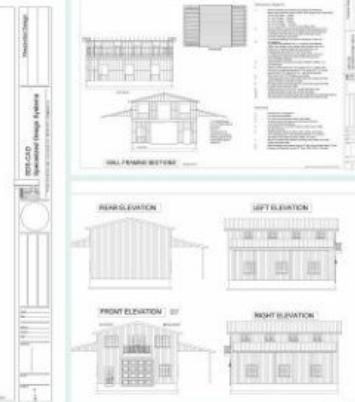
Page 1 Title Page/Plan
 Page 2 Foundation Details
 Page 3 General Notes & References
 Page 4 Project and Details
 Page 5 Index Page

Building Spacing

Minimum 100' setback and 100' paved and mowed area in front of the house over structural shudding. Nothing behind is 10' to 12' and 10' to 12' on the sides. 10' to 12' in back. 10' to 12' on the sides. 10' to 12' in back. 10' to 12' on the sides. 10' to 12' in back. Wind rating is 30 mph guide for 2x4 joists and the system needs to fit.



GARAGE MAIN FLOOR PLAN





3D perspective drawing and other field & site specific information are not included in the plan set. Please see information in the front of the plan set for more details.



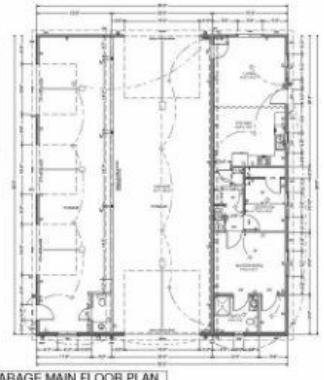
BUILDING CONTRACTOR'S GUIDE
TO REVIEW AND MODIFY ALL DIMENSIONS,
SPACES, AND CONNECTIONS BEFORE
CONTRACTING WITH A CONTRACTOR
OR A BUILDING CONTRACTOR.

To the best of my knowledge these plans are drawn accurately and are in accordance with the applicable building codes. The contractor or any subcontractor must be advised of any alterations made after delivery. I disclaim any responsibility for any errors or omissions in these plans. I am not responsible for the interpretation of the plans to be used by others. The reader uses all dimensions and other data at his/her own risk. I am not responsible for any errors or other data used to construct the building. Please contact me for any questions or comments.

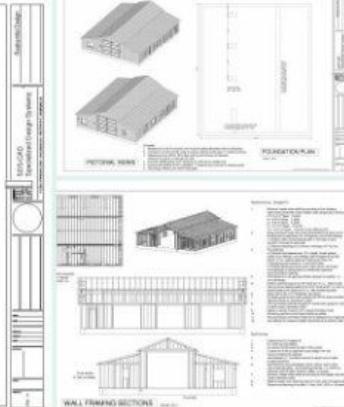
50' x 60' - 9' Sides 14' Center Garage Plan
G471 Apartment Barn Style

By SDS-CAD Specialized Design Systems

Page 1 180 Main Floor Plan
Page 2 Foundation Plan & Permits
Page 3 Framing & Details
Page 4 Drawings
Page 5 Index



GARAGE MAIN FLOOR PLAN





ECY INNOVATION PLAN



Sheeting spans made-out and braced and but notched-riding-most-structural sheeting. Rating is made in 17' intervals for 10' sections 100' long. "Revised A-3" engineered at 17' and featuring in 17' intervals 10' sections of varying height made of 17' sections height center. Sheet widths for both sheeting sections.

and/or higher frequencies and/or longer periods of time after periods of stress, and/or the intensity of the reaction is greater than the baseline. The continuous and/or rhythmic nature of the reaction is not consistent with the reaction to a single, brief, acute stimulus. Elevated or low baseline activity is considered to be the key feature. While every "high-risk" event leads to the hypothesization of the need to avoid it, the related reaction pattern is unique to the individual.

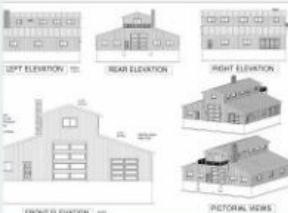
#G468 60 x 60 -14' Monitor Barn Style
By SDS-CAD Specialized Design Systems

Page 1	Title Main Floor Plan
Page 2	Deedbook Notes
Page 3	Unfinished Plan & Footnote
Page 4	Drawings and Details
Page 5	Deedbox Notes



GARAGE MAIN FLOOR PLAN

© 2018 Pearson Education, Inc.



FRONT ELEVATION 10



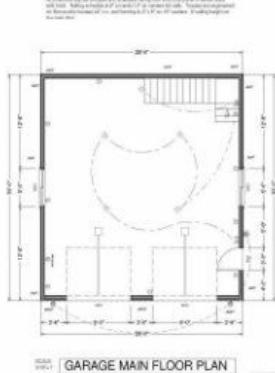
Architectural drawings and specifications are for the use of the building contractor only. It is the responsibility of the building contractor to obtain the necessary permits and to follow the building codes of the jurisdiction in which the building is to be located. The building contractor is responsible for the proper interpretation and application of the building codes and for the safe and proper construction of the building. The building contractor is responsible for the proper interpretation and application of the building codes and for the safe and proper construction of the building.

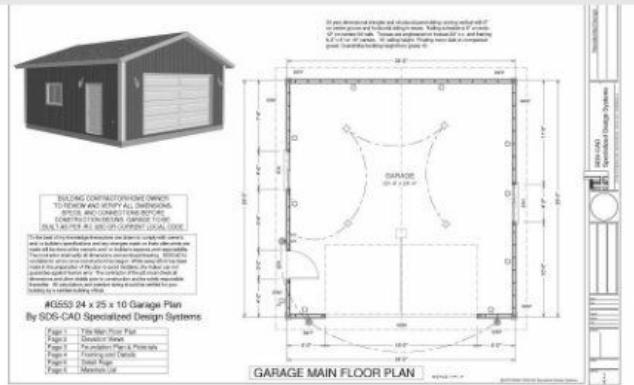
BUILDING CONTRACTOR/HOME OWNER
THESE PLANS ARE PROVIDED FOR THE USE OF THE
HOME OWNER AND THE BUILDING CONTRACTOR.
DO NOT USE THESE PLANS FOR COMMERCIAL
BUILDING PURPOSES. USE OF COMMERCIAL LOCAL CODES.

#G160 Plans 26 x 30 x 9 detached garage
with bonus room

By SOS-CAD Specialized Design Systems

Page 1	1/4" Main Floor Plan
Page 2	Elevation View
Page 3	Architectural Details
Page 4	Fixtures and Details
Page 5	Detail A
Page 6	Detail B
Page 7	Materials List







FRONT ELEVATION



REAR ELEVATION

LEFT ELEVATION



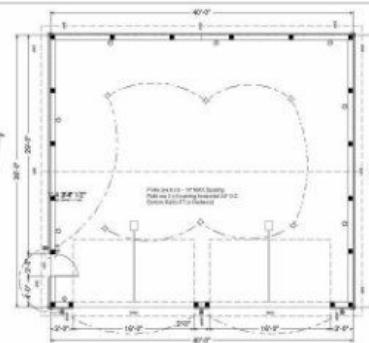
FRONT ELEVATION

RIGHT ELEVATION

GARAGE MAIN FLOOR PLAN

#G684 36 X 40 - 10' Pole Garage Plan
Specialized Design Systems LLC

Page 1 This Main Floor Plan
Page 2 Foundation Plan
Page 3 Pole Locations
Page 4 Elevation and Details
Page 5 Drawings and Details



GARAGE TO BE BUILT ACCORDING TO 2006 IBC
GARAGE TO BE BUILT ACCORDING TO 2006 IBC

Footprint

Foundation

Details

Drawings

Notes





REGULAR CONTRACTOR SERVICE CHARGE
TO HANDEL AND VALUABLES WILL CHARGE
ADDITIONAL FEES FOR
DOMESTIC SHORT-Haul, GROSS TO 1000
BUCH AIR FREIGHT INC OR CURRENT EQUIV. COST

#G5599 25 x 24 x 10 Garage Plan
By SDS-CAD Specialized Design Systems

Page 1	View User Profile
Page 2	Dashboard View
Page 3	Dashboard - User 3 (Bhavana)
Page 4	Setting - User Details
Page 5	Logout Page
Page 6	Business Unit



ACKNOWLEDGMENT

- 100 -



FRONT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



BRIGHT ELEVATION



THE LUMINOSITY FUNCTION

Bonus 24' x 24' x 8' Garage Plans Full Plans with Download

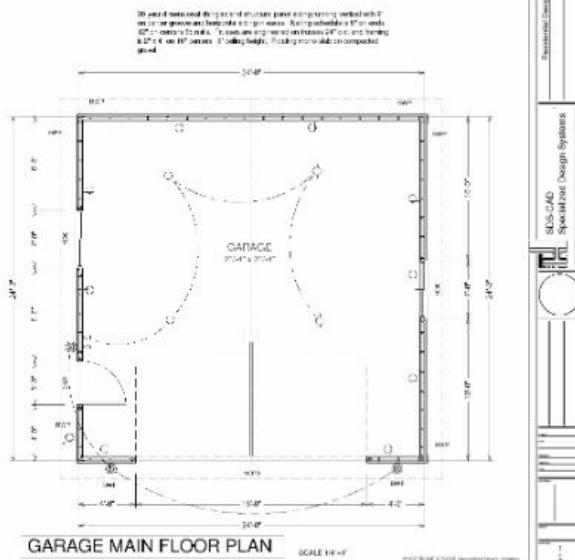


RE: BIM DMS CONTRACTOR/HOME OWNER
TO HILLYARD AND VULTEY ALL UNMANAGED,
SPLCZ AND CONNECTIONS ULI ORL
CONSTRUCTION REGNS. CAPABLE TO BE
RE-INITIATED PERIODICALLY ON CURRENT LOGIC CODE.

To the best of my knowledge, these plans are drawn to comply with all relevant codes and regulations, and any changes made to them after this point, will be done at the owner's risk. I will build a response to any reasonable comments or suggestions you may have. This contract is valid only if construction has begun. While work is still in progress, the owner can cancel the agreement at any time. The contractor of the original deal is also entitled to a cancellation fee if construction is not begun within a reasonable time. All changes and additions will be charged at the cost of your building.

#G518 24 x 24 - 8' Garage Plan
By SDS-CAD Specialized Design Systems

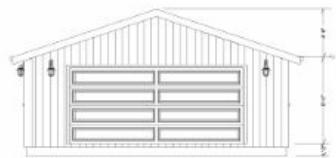
Page 1	Title Main Floor Plan
Page 2	Elevation Views
Page 3	Foundation Plan & Footprints
Page 4	Framing and Details
Page 5	Detail Page
Page 6	Materials List





REAR ELEVATION

14'6" PITCH
ENCLOSURE
ATTIC 14'6"



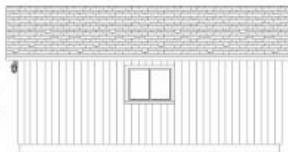
SCALE
3'10" x 11'

FRONT ELEVATION



LEFT ELEVATION

Asphalt Shingles



RIGHT ELEVATION

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PICTORIALS



FOUNDATION PLAN

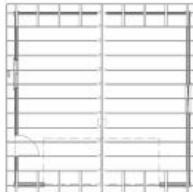
SCALE 1'0" = 1'

Comments

1. All slabs are to be 4" concrete over 4" gravel unless otherwise noted on the plan.
2. Concrete to be ACI 301-66, Type II cement, 2500 psi at 28 days, 6" maximum slump.
3. Reinforcing to be ASTM A615-94 with Fy=60 ksi and 36 diameter minimum reinforcement and 12" cover.
4. Concrete design based on Fc 2500 psi. Fc 2500 psi for quarry only.
5. Anchor bolts shall be A-357 embedded 7" minimum into concrete or masonry grout.
6. All footings minimum 24" below final grade.

©2019 SDS-CAD Residential Design Systems





Garage roof pre-engineered
trusses as supplied by TRUSST
Manufacturer in 2" O.C.



General framing - (Douglas Fir)

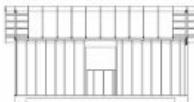
- 1 Minimum header sizes shall be according to the following table for pre-engineered header sizes (single story construction):
 a. 2' 0" x 4' 0" Span: 2.04%
2. 4' 0" x 4' 0" Span: 2.04%
3. 4' 0" x 6' 0" Span: 2.04%
4. 6' 0" x 10' 0" Span: 2.01%
5. 10' 0" x 12' 0" Span: 2.01%

Header shall be solid wood with 25% of length by one of the following:

- a. Standard 2x4 wall framing with 3 1/2" rule of each end and 1 1/2" rule in middle.
- b. Plywood sheathing of a minimum thickness of 7/16" inch.
- c. Firewood shall span over 12' in height, turned square, solid drop ceilings, cross ceilings, star shapes, star shapes on top and bottom, solid joists, solid floor joists, solid floor trusses, etc.
- d. Presloping shall consist of 2" nominal lumber.
- e. Firewood spanning around vents, pipes, ducts, chimneys, and fireplaces, shall be solid 2x4s that have an approved, noncombustible material.

CTD planned is not approved where exposed to weather. (a): not covered.

- 2 Exterior wall framing to be 2x4" studs @ 16" o.c. Interior wall, framing to be 2x4" studs @ 16" o.c. Header to be 2x6" @ 16" o.c. at bearing wall with 2x4" studs @ 16" o.c. with 45-60-60 slope. Shear wall to be 2x10" Sheathing - see detail.
- 3 Minimum header sizes shall be according to the table above.
- 4 Minimum header sizes shall be according to the table above.
- 5 Presloping lumber shall be Douglas Fir construction grade PB-1420 or better.
- 6 8' 0" x 10' 0" Span: 2.01%
- 7 10' 0" x 12' 0" Span: 2.01%
- 8 Flashing to be per current U.G.C. section otherwise noted.
- 9 Adhesive to be 100% acrylic.
- 10 Structural grade laminated timbers to be stamped by an approved agency.
- 11 Use redwood or pressure treated end plates of all exterior walls.
- 12 Use redwood or pressure treated end plates of all exterior walls.



Roof Framing:

- 1 Facial slope 2' O.C. Douglas Fir.
- 2 For soft side use 2x6's.
- 3 For spans and dimensions refer to local plans.
- 4 Trusses are to be supplied by design from the truss manufacturer's engineer.
- 5 Use Standard Headers and/or at each truss or other to wall connection.
- 6 Solid sheathing required between posts, rafters, and trusses over all bearing walls.
- 7 Solid sheathing required between posts, rafters, and trusses over all non-bearing walls.
- 8 Minimum header sizes shall be according to the header size table unless otherwise noted.
- 9 Basis of design - conf. horizontal load of 377 psf. and conf. dead load of 195 psf.
- 10 Plywood roof decking to be 5/8" in thick, 2x6, 2x8, 2x10 or 3/4" wide.

WALL FRAMING SECTIONS

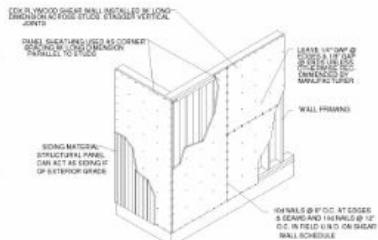
SCALE: 1:8x1'

©2019 TRUSST SPECIALized Garage Systems



©2019 TRUSST SPECIALized Garage Systems

NOTE: TYPICAL DETAILS
FOR CONSTRUCTION TO
MEET BUILDING
REQUIREMENTS.
GARAGES TO BE BUILT AS
PER LOCAL CODE
REQUIREMENTS



TYPICAL BRACED WALL PANEL (BWP)

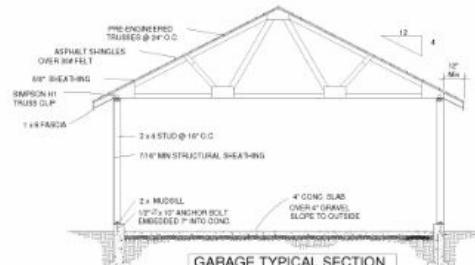
TYPICAL ALTERNATE BRACED WALL PANEL (ABWP)



Footing and concrete wall option



Monolithic slab foundation option



GARAGE TYPICAL SECTION

©2019 TRUSST SPECIALized Garage Systems

Computer Generated Materials List
for reference only and generic
approximated
materials as per the 3D CAD model

Thank you for looking through our plans, all of these plans can be downloaded in our store at www.diyblueprints.com

<http://sdspans.com> or purchased on a DVD from Amazon at

<http://www.amazon.com/gp/aag/main?>

ie=UTF8&asin=&isAmazonFulfilled=&isCBA=&marketplaceID=ATVPDKIKX0DER&order



Links to Download PDF Version of Bonus Plans

G518 24 x 24 x 8 Garage Plans with PDF and DWG

<http://www.sdsplans.com/wp-content/uploads/2013/02/G518-24-x-24-x-8-SDS.pdf>

Download full sample house plan

<http://www.sdsplans.com/wp-content/uploads/2012/04/H267-BJ-Custom-Spec-Sample.pdf>

How to Print Plans

Step 1

Download or Email the plans to yourself or send them to a google drive or dropbox if you have one available.

You may also want to email the plans to a local print store that has the ability to print the plans at 100% scale on 11 x 17 paper.

Step 2

Open the plan file in your email.

Step 3

Send the plans to the printer. If you print the plans to fit on a 8 1/2 x 11 paper printer they will be readable but not to scale.

If you have an 11 x 17 printer you can print the plans to scale at 100%. If not email them to a print store that has those capabilities, if you need full scale plans for building.

Links to Purchase the CAD DWG Version of Plans

G518 24 x 24 x 8 Garage Plans with PDF and DWG

<http://www.sdsplans.com/#!/~/product/category=137769&id=11876427>

Other Garage Plans in our online store

<http://www.sdsplans.com/#!/~/category/id=137769&inview=product11876427&offset=0&sc>

House plans in CAD format can be purchased separately in the store at <http://sdsplans.com>

How to Read Prints - Custom House Plan #h225



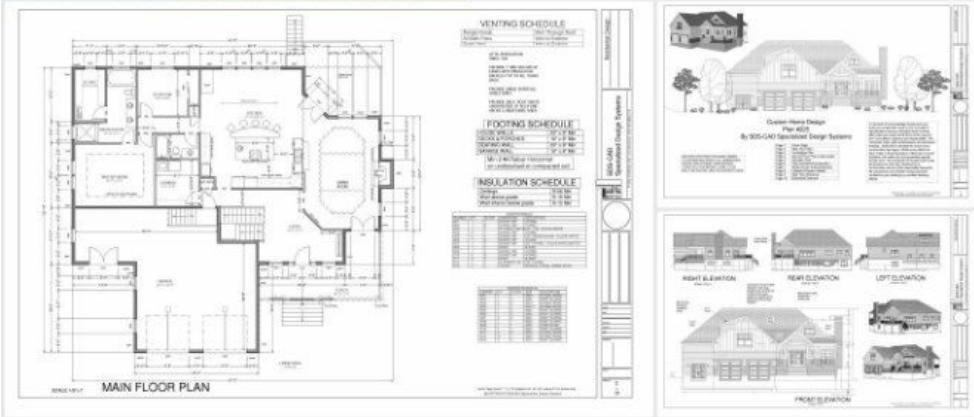
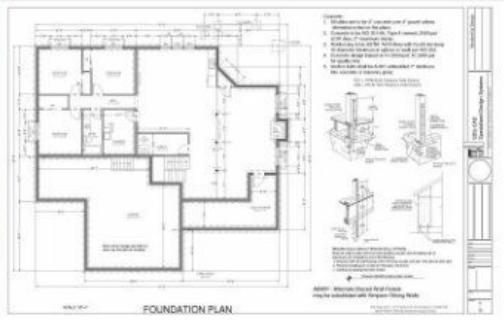
Rendering

This home was designed for a Dentist and his wife. The home turned out to be a beautiful custom home. This first part of the book is a kind of an explanation of what a set of house plans consists of so that you will have a better understanding of what goes into designing homes. The picture above is a 3D model or rendering of what the house will look like with a yard and concrete, just an artist's idea of possibilities. The picture below is a rendering without the surrounding of the actual 3d model of the house trying to visualize different exterior finishes that can be applied. To get a rendering done for your home costs anywhere from fifty to several hundred dollars depending on how realistic you want the renderings to

be.



Model Rendering



Spec Page

The picture above is a Spec Page. Those are put together to give out as plan overviews showing a few of the pages with the floor plans and elevations. That is what this book is all about, it is the spec pages of 100 different house that have been drawn and that are available to purchase the entire working plans on a DVD for easy printing and building of the homes.

Custom Home Design
Plan #225
By SDS-CAD Specialized Design Systems

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPEC'S, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. HOME TO BE
BUILT AS PER IC, UBC OR CURRENT CODE

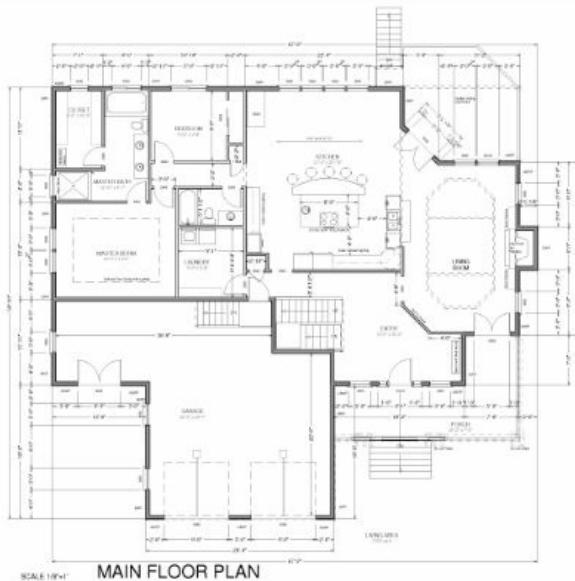
Page 1	Cover Page
Page 2	Main Floor Plan
Page 3	Front Elevation
Page 4	Second Floor Plan & Stair Detail
Page 5	Elevation Plan
Page 6	Floor and Roof Framing Plan
Page 7	Whole House Framing Section
Page 8	Cabinet & Seating Details
Page 9	Main Floor Electrical
Page 10	Basement Electrical

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on these after the original practice will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. SDS-CAD is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid errors, it is the responsibility of the contractor and human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter. All calculations and member sizing should be verified for your building by a certified building official.

Page 1 of 10 | 01/01/2010 | 01:10:00 AM | 1000x1000

Title Page

The title page gives a nice overview of the home with the table of contents and some information on the codes used on the plans and a rendering.



MAIN FLOOR PLAN

VENTING SCHEDULE E

VENTING OUTDOOR	
Rainguard	Walk Through Roof
All Bath Fans	Vent to Exterior
Downspout	Vent to Exterior

2010: 中国人口年鉴

FIGURE 17.60. ANGLED AL
SHEATHING INSULATION
BATTING TIP-IT AL. TIP-IT

ANSWER

1996年1月1日起施行。本办法由国务院法制办负责解释。

ПРИВЕДЕННЫЕ ВЫШЕ ТАКИЕ
ОБЩЕСТВЕННЫЕ ПОДСЧЕТЫ

西山城(西山行)西山行西山行

FOOTING SC

HOUSE WALLS

DUCT & PONCHOLE HEARING WALL

DISPOSAL WALL

Use 2 M Hebar Hor

INSULATION SO

FOOTING SCHEDULE

HOUSE WALLS	18" x 8' Min
DECKS & PORCHES	18" x 8' Min
BEARING WALL	30" x 8' Min
SARAGE WALL	18" x 8' Min

INSULATION SCHEDULE

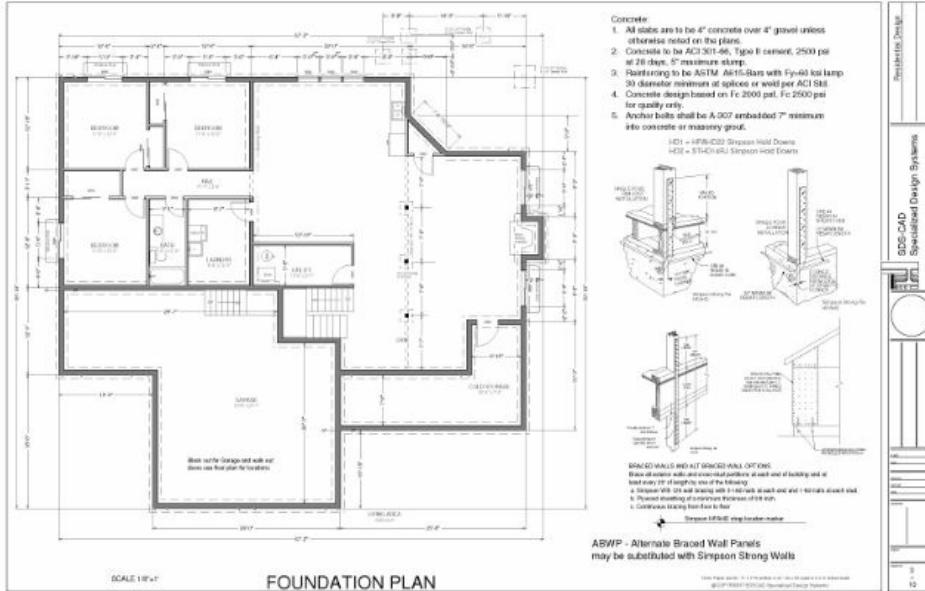
Ceiling	R-30 Min
Wall above grade	R-10 Min
Wall interior below grade	R-15 Min

Table 1.1

Table 10: *Top 1000 most cited articles in the field of business*

The Main Floor Plan

The main floor plans shows the details of the main floor of the house with all of the dimensions on the page above is also the schedules for venting, footings, and window and door schedules.



The Foundation Page

The foundation Page is a detail of how the basement is going to be laid out and the requirements for the concrete. Also, this is combined with the floor plan for the basement in the home.



Elevation Page

The Elevation page shows what the outside of the house is going to look like and what materials are going to be put on the house. The height of the structure as well as pictorials and other details are added to this page.

Final Forming

1. Fashto is the 2nd Douglas Fir.
2. For soft side see details.
3. For spans and dimensions refer to floor plans.
4. Trusses are to be approved truss design from the truss manufacturer's engineer.
5. Install as per engineers spec.
6. Use 100% H-175 concrete anchors at each truss or reflect to wall connection.
7. Solid steel beams are to be used, not timber, and houses over 10' thickness walls.
8. Such thickness should be 1 1/2" minimum thickness and full depth of joists, otherwise.
9. Bases of design rod live load should be at 37 psf, and roof dead load of 15 psf.
10. Plywood rod decking to be Mils 10' thick, 2400, CDX or 50' width.



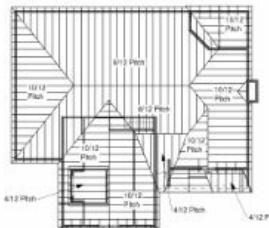
ROOF FRAMING

MAIN FLOOR FRAMING

MAC#66: 11187-1



SEE GENERAL SPEC'S AND
NOTES FOR FRAMING DETAILS



PRE-ENGINEERED ENERGY TRUSSES

SUPPLIED BY TRUSS MANUFACTURER

1. Trusses to be 24" O.C.
2. Attic access min 22 1/2" x 30" were most convenient.
For all areas greater than 30"
3. Vaulted ceiling over family and living room area using vaulted soffit trusses where possible.
4. Install all trusses as per truss manufacturer installation guidelines.
5. Attic Trusses 10'12" Pitch over garage area for bonus room.
6. 10'12" and 8'12" Pitch for main house.

Roof and Floor Framing Page

The picture above shows how the floor joists and roof trusses are to be laid out on the home.

The detail specification for framing and any bearing walls are also shown on this page.



General framing (Douglas Fir)

1 Minimum 2x6 header joists shall be provided.
Header joists shall be double unless otherwise noted.
Header joists (single story construction):
4' = 2x6 6' - 2x8
6' = 2x8 8' - 2x10
8' = 2x10 10' - 2x12
10' = 2x12 12' - 2x14
(Minimum 2x6 header joists shall be provided)
2'6" to 8'0" Span: 2x6x8
2'6" to 10'0" Span: 2x8x10
2'6" to 12'0" Span: 2x10x12
2'6" to 14'0" Span: 2x12x14
2'6" to 16'0" Span: 2x14x16
2'6" to 18'0" Span: 2x16x18

2 Structural 2x6 cross-rafters shall be provided at each end of building and at least one-third of length by one of the following:
a. Structural 2x6 cross-rafters running with 3:12 pitch at each end and 1:10 pitch at each end.
b. Plywood sheathing of a 1/8 in. thickness and 3/16 in. OSB.

3 The following:
a. Plywood sheathing over 10' in height, turned soffit, soffit, drop soffit, soffit ledging, soffit bridging, and soffit of top and bottom of the bearing wall and valuing joist, etc.
b. Plywood sheathing around rooms, stairs, ducts, chimneys, and fireplaces at ceiling height.
c. OSB sheathing is not required where exposed to weather, i.e., roof overhangs, eaves, and soffit areas.
d. Plywood sheathing of a 1/8 in. thickness and 3/16 in. OSB.

4 All floor joists shall be Douglas Fir 2x6 or 2x8, 16' on center otherwise noted.
5. All floor joists and 2x6 CDO structural joists shall be 16' on center.
6. All floor joists shall be Douglas Fir 2x6 species and bear spanning 16' on all floors in plan.
7. Insuring to table code for Douglas Fir 2x6 or other grade F8 16'x16' or better unless otherwise noted.
8. All floor joists shall be Douglas Fir 2x6 species and 16' on center.
9. All bearing portions of all 2x6 double top plates.
10. All structural 2x6 sheathing required to be stamped by an approved agency.
11. Structural 2x6 sheathing required to be stamped by an approved agency.
12. Structural 2x6 sheathing required to be stamped by an approved agency.

Floor Framing

1 All floor joists to be Douglas Fir 2x6 or 2x8, 16' on center otherwise noted.
For spans and dimensions refer to table plate.
2. All floor joists shall be Douglas Fir 2x6 species and bear spanning 16' on all floors in plan.
3. Solid sheathing between joists over of bearing walls, and midspan, such bearing shall be 2'0" from the center of joists to center of joists.
4. Minimum joist size shall be according to the height of the floor joist table unless otherwise noted.
5. Dimensions of joists shall be according to the height of the floor joist table unless otherwise noted.
6. Dimensions of joists shall be according to the height of the floor joist table unless otherwise noted.
7. Dimensions of joists shall be according to the height of the floor joist table unless otherwise noted.
8. Joists longer than 8'0" require 1/2x10's in equal widths of service noted.
9. Double joists and/or double sheathing at all interior walls.

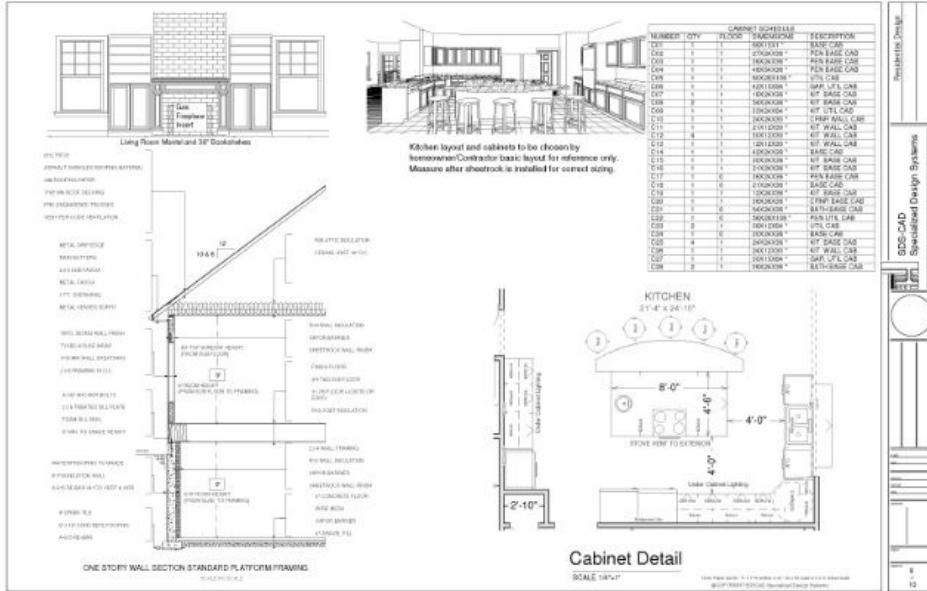


FULL HOUSE FRAMING SECTION SCALE 1/8"=1'

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Full House Framing Section

Most building department require that a full house section is shown with the plans. This is a framing cross section of the home.



Cabinet Details and Typical Cross Section Page

The picture above is a detail that shows cabinet details and a schedule of cabinets required. There aren't full cabinet details because most homeowners want to be involved in designing the kitchen with a kitchen designer or cabinet manufacturer.

The full detail section is a cut through of the walls to show what materials are going to be used on the plans.



Main Floor Electrical Page

The picture above is a electrical specifications for the main floor as well as an electrical legend explaining the symbols used on the plans.



BASEMENT
ELECTRICAL PLAN

SCALE 1:25

Electrical Systems

Este trabajo se debe a la autorización de la Dirección General de la DGA.

Präsentations-Daten
BGS-CAD
Specialized Design Systems

Basement Electrical Plans

The picture above is all of the notes and details for the basement electrical requirements as well as a schedule of all of the electrical components and all of the electrical specifications required.

Plan Copyright Information

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If you would like to make money by selling our plans online please contact us and become part of our reseller program john@hplans.us

Bonus Plan

20' x 24' x 10' Gambrel Barn Plans With Loft



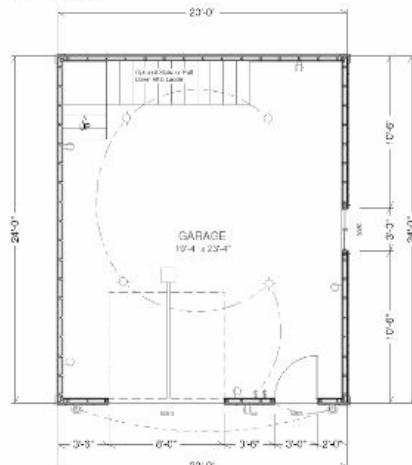
BUILDING CONTRACTOR OR HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS. BARN TO BE
BUILT AS PER THE 2006 OR CURRENT LOCAL CODE.

© The best of my knowledge these plans are drawn to comply with current's building codes. The plans are for the use of the building contractor and the owner will be the one to have the plans checked for building sequence and requirements. No contractor shall warranty drawings and/or designs as being correct. SDS-CAD is not responsible for any errors or omissions in these plans. These plans are to be used in the presence of a licensed architect or engineer, the owner can be responsible against the law for any errors. The contractor is to get their own code of reference and to follow the building codes and regulations of the state or province in which the barn is to be built. All calculations on framing or roofing shall be verified by you or by a certified building code.

#g524 20 x 24 x 10 Gambrel Barn Plans By SDS-CAD Specialized Design Systems

Page 1	Title Main Floor Plan
Page 2	Elevation Views
Page 3	Architectural Plan & Picklist
Page 4	Framing and Details
Page 5	Detail Page
Page 6	Optional Framing Detail
Page 7	Materials List

St. clear dimensions at eaves and 10' by roof and floor decking. Building side walls 6' on each 12' x 10' corner of side. Transom or gable bracket for eaves and 10' x 10' x 10' 10' eaves to ridge height.



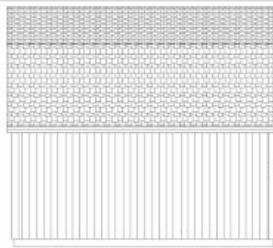
Building Details	
SDS-CAD Specialized Design Systems	



REAR ELEVATION

ROOF
8/12 and 5/6/12 PITCH
SHEATHED MANUFACTURED
GAMBREL ATTIC TRUSS
ASPHALT SHINGLES

WALLS
8' 0" x 8' 0" WALLS
VINYL SIDING AS PER OWNER
OVER STRUCTURAL SHEATHING

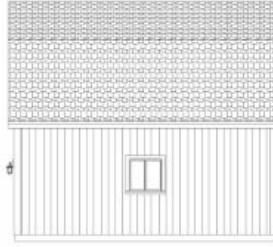


LEFT ELEVATION



FRONT ELEVATION

SCALE
3'0"=1'

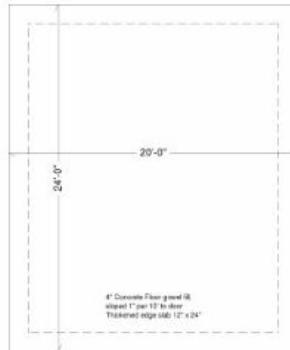


RIGHT ELEVATION

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PICTORIAL VIEWS



FOUNDATION PLAN

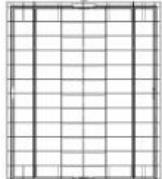
SCALE: 1'0"=1'

Concrete

1. All slabs are to be 4" concrete over 4" gravel unless otherwise noted on the plans.
2. Concrete to be ACI 301-64, Type II cement, 2500 psi at 28 days, 2" maximum slump.
3. Reinforcing to be ASTM 460-Bars with Fy=30 ksi and 20 diameter minimum reinforcement.
4. Concrete design based on Fc 2000 psi, Fc 2000 psi for quality only.
5. Anchors shall be A307 embedded 7" minimum into concrete or masonry grout.
6. All footings minimum 24" below final grade.

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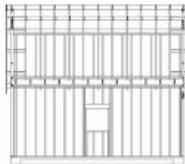


GARAGE ROOF PRE-ENGINEERED TRUSSES AS SUPPLIED BY TRUSS MANUFACTURER (2" x 4" OR OPTIONAL STOCK BUILT AS DESCRIBED ON PAGE 7)





Gable Wall



Gross Section



Front Wall

WALL FRAMING SECTIONS

SCALE 1/8"=1'

©2007 KODIAK Residential Garage Systems

Generalizing (Douglas Fir)

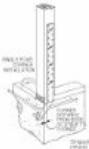
1. Minimum header sizes shall be according to the following:
a. Horizontal header: 2" x 6" (span: 2'-0")
b. Vertical header: 2" x 6" (span: 2'-0")
c. 4" x 6" x 6" (span: 2'-0")
d. 4" x 6" x 8" (span: 2'-0")
e. 6" x 6" x 6" (span: 2'-0")
f. 10" x 12" x 6" (span: 2'-0") as noted in table.
2. These allow for a maximum of 10% of total overhang at each end of building and at least every 25' of length by 3" or 1/16" rule at each end.
3. a. Strapping 1" x 12" shall be fastened with 3 1/2" nails at each end of building and at least every 25' of length by 3" or 1/16" rule at each end.
- b. a. Vertical sheathing of a minimum thickness of 7/16" inch (11.5 mm) shall be applied to all exterior walls.
- c. 2" x 6" studs spaced over 17" in height, header spaces, soffit, drywall, ceiling, eave eaves, over eaves at top and bottom, and all exterior walls, including roof lines, etc.
- d. Strapping shall consist of 2" x 6" x 6" lumber.
- e. Piercing openings around vents, pipes, ducts, chimneys, etc., shall be made with a 2" x 6" x 6" lumber and fastened with approved, non-combustible materials.
- f. CDF plan is not applicable where exposed to weather. (i.e., roof overhangs).
4. Exterior wall framing to be 2"x6" studs at 16" o.c. (vertical and horizontal), 2"x6" header at 16" o.c. (vertical and horizontal), and 2"x6" joists at 16" o.c. with double top plate.
5. Shear wall to be 7" x 10" (thickness, see detail).
6. All exterior walls shall be sheathed with 1/2" OSB and have approved sheathing in all places.
7. Framing lumber shall be Douglas Fir construction grade HI-1450 or equivalent.
8. All exterior walls shall be sheathed with 1/2" OSB.
9. Railing to be per current UBC unless otherwise noted.
10. All exterior walls shall be sheathed with 1/2" OSB.
11. Structural glulam laminated fibers to be planned by an approved agency.
12. Use reinforced or pressure treated sole plates at all exterior walls.

Roof Framing:

1. Panel type C or Douglas Fir.
2. For soffit size see detail.
3. For spans and dimensions refer to floor plans.
4. Trusses shall be 2"x6" studs at 16" o.c. from the floor joist to the truss manufacturer's engine.
5. Use Simpson HI-1450 webbing at each truss or refer to manufacturer.
6. Solid blocking required between joist, rafters, and trusses over all bearing walls.
7. Shear wall to be 7" x 10" (thickness, see detail).
8. Minimum header sizes shall be according to the header size table unless otherwise noted.
9. Basis of design: roof live load of 27 psf, and roof dead load of 15 psf.
10. Plywood roof decking to be 1/2" Min. thickness, 24x3, CDF or 3/8" wide.

Residential Details

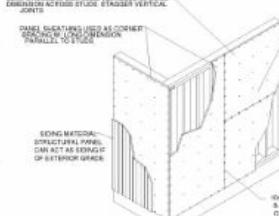
S2C-C2D
Symbolized Design Systems



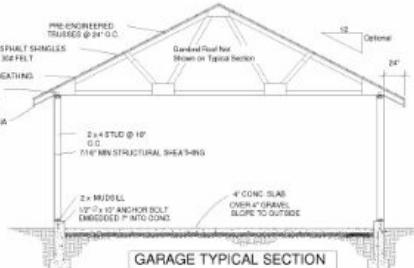
ABWP steps for all (2) M/P Alternative Braced Wall Panels
See additional detail for all (2) M/P Standard Wall Panels

TYPICAL ALTERNATE BRACED WALL PANEL (ABWP)

NOTE: TYPICAL DETAILS FOR CONSTRUCTION TO MEET IRC 2006 REQUIREMENTS. GARAGES TO BE BUILT AS PER LOCAL CODE REQUIREMENTS



TYPICAL BRACED WALL PANEL (BWP)



GARAGE TYPICAL SECTION

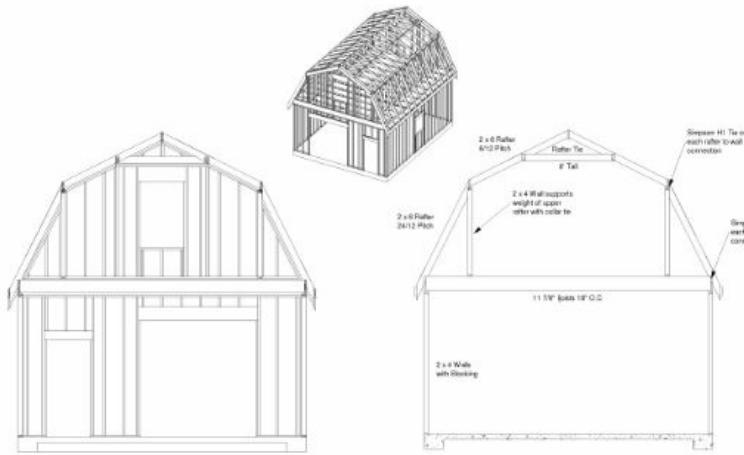
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WALL PANEL INSTALLATION

Vertical Drilling For

WALL PANEL INSTALLATION

Horizontal Drilling For



Optional Gambrel Attic Built with Traditional Framing

Boat 1 (N=1)

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Computer Generated Materials List
for reference only and gives
approximated
materials as per the 3D CAD model

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Links to Download PDF Version of Plans For Printing

g524 20 X 24 X 10 Gambrel Garage Barn Plans PDF

<http://www.sdsplans.com/wp-content/uploads/2013/02/g524-20-x-24-x-8-Gambrel-Barn-Plans.pdf>

Sample Forms you may need in your area for building a garage.

You will need to go to your local building department to determine the actual forms that they require to apply for a building department.

Name of Owner/Builder: Address:

City: _____ State: _____ Zip: _____

LOCATION OF CONSTRUCTION SITE

Address: City: State: Zip:

Subdivision Name:

CERTIFICATION

I, _____, certify under penalty that the following statements are true and correct and are based upon my understanding of the Utah Construction Trades Licensing Act:

1. I am sole owner of the property and construction project at the above described location;
2. The improvements being placed on the property are intended to be used and will be used for my personal, noncommercial, non public use;
3. I understand that work performed on the project, if it is the type of work which is regulated under the Construction Trades License Act, and Rules of the Contractor's Licensing Board, must be

performed by the following:

- a. myself as the sole owner property; or b. a licensed contractor; or
- c. my employee(s) on whom I have worker's compensation insurance coverage, on whom I withhold and pay all required payroll taxes, and with respect to whom I comply with all other applicable employee/employer laws; or d. any other person working under my supervision as owner/builder to whom no compensation is paid; and

4. I understand that if I retain the services of an unlicensed contractor or compensate an unlicensed person, other than as an employee for wages, to perform construction services for which licensure is required, I may be guilty of a class A misdemeanor and may be additionally subject to an administrative fine in the maximum of \$2,000 for each day on which I violate the law.

Dated this _____ day of _____
20_____

Signature of owner/builder Subscribed and sworn before me this
_____ day of _____ 20_____, in the County of
_____,

State of _____.

My
commission expires: _____

SHED / DETACHED

GARAGE

GUIDE

This handout has been created to serve as an information tool to individuals wishing to erect a shed or a detached garage accessory to a single family dwelling. This is intended only as a guide for plan submittal and as an aid to the minimum information needed to submit for an application for a building permit. This is by no means all-inclusive, and additional information may be needed in order for the Building Department to process your building permit application. Please take a moment to ensure the items listed below are included in your submittal package. Failure to submit all the information requested may result in delays in processing your permit application.

Detached structures for uses other than sheds require permits regardless of size. Sheds < 200 square feet do not require a building permit. Utilities, such as electricity, will require a permit for the applicable use. Depending upon the size of the shed, specific setback and height requirements must be met per the Land Development Code 17:15. All accessory structures (i.e. sheds) must be 10 feet behind the deepest portion of the front plane of the house.

Sheds that are < 120 square feet and < 10 feet in total height:

1. Can be 1 foot from the side and rear property line, but the structure must be removable.
2. The shed must be at least 6 feet from the house.

3. If the rear yard is adjacent to a street, the shed must be a minimum of 10 feet away from the rear property line.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

Sheds that are < 120 square feet and > than 10 feet in height:

1. Must meet the standard setbacks of 8 feet from the side property line and 10 feet from the rear property line.

2. The shed must be at least 6 feet from the house.

3. The maximum height for an accessory structure is 15 feet measured at mid-gable.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

Sheds > 120 square feet and < 200 square feet:

1. Must meet the standard setbacks of 8 feet from the side property line and 10 feet from the rear property line.

2. The shed must be at least 6 feet from the house.

3. The maximum height for an accessory structure is 15 feet measured at mid-gable.

4. If the side yard is adjacent to a street, the shed must be a minimum of 20 feet from the side property line.

The following items must be included in your permit application submittal:

Residential Permit Application

1. Completed building permit application with contact phone numbers and contractor license numbers if applicable. The

application must be completely filled out.

2. Proof of ownership. This may be obtained at the Cache County Recorder's office located at 179 N Main.

Site and plat plans

1. 1 copy of plat map. This may be obtained at the Cache County Recorder's office located at 179 North Main.

2. Copies of the building site plan (plot plan).

3. The site plans must show all property lines, all easements and right-of-ways, setbacks, all existing structures and proposed structures. Measurements must be provided. Construction documents/plans (sample plans are attached):

1. Show footings and foundations. Specify size, depth, width, and steel placement/spacing. Show locations of hold-down straps.

2. Floor plan and layout with dimensions. Show doors, windows, foundations straps, bracing details, etc.

3. Show electrical breaker panels, outlets, lights switches, etc.

4. Specify framing materials, roof framing details, and anchoring methods.

5. Submit engineering if required by code.

6. Show any heating or plumbing.

7. Show cross sections and elevations.

Please note that plans cannot be accepted for

review without the information listed above.

Incomplete submittals cannot be accepted.

24' x 24' Garage Plans Construction Blueprints



By John Davidson

Gambrel Barn And Shed Plans Construction Blueprints



By John Davidson

Building A Garden Shed

Step By Step
Instructions And Plans



By John Davidson

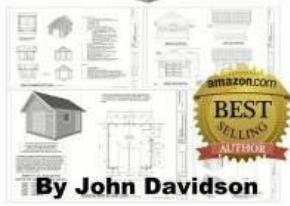
Building A Playhouse

Step By Step
Instructions And Plans



By John Davidson

16' x 16' Garage Plans Construction Blueprints



By John Davidson

How To Build A Portable Chicken Coop



Plans
and Videos

By John Davidson

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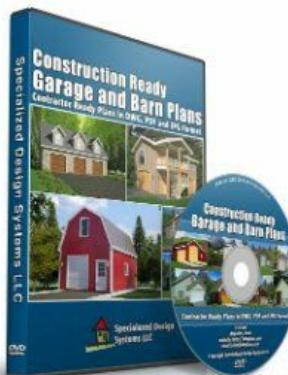
Check out the plans that are available at our website

Or

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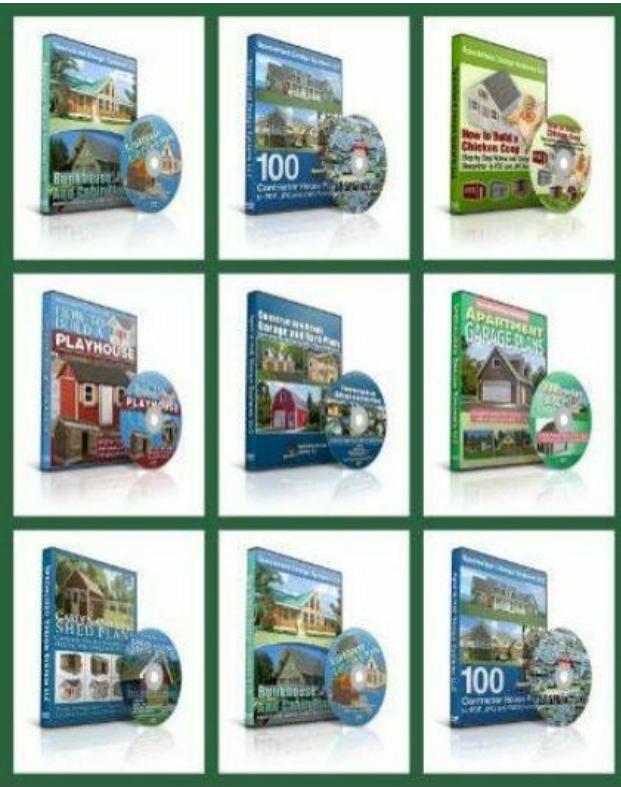
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